

MC /14/2145

Garages To Rear Of 17 - 31 Fleet
Road, Rochester



MC/14/2145 - Garages To Rear Of 17 - 31 Fleet Rd Rochester



Scale: 1:1250 05/11/14

This map is reproduced from/ based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office. © Crown Copyright and/or database right, 2013. Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings. 100024225.

Fleet Road access













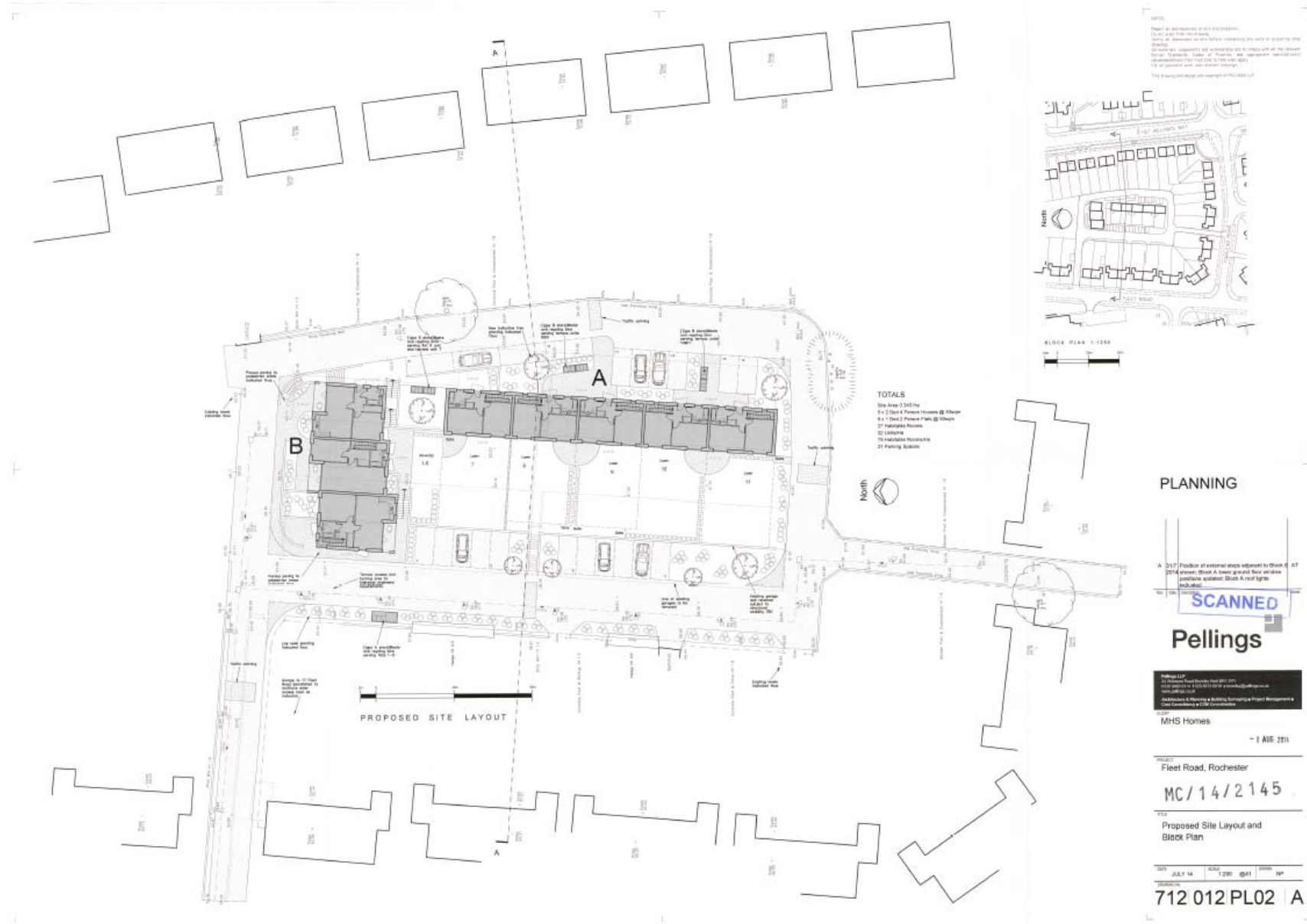




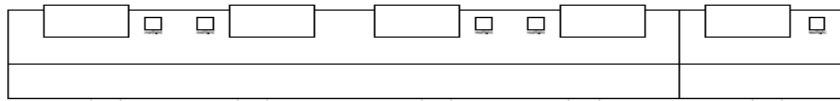
Fairlead Road access



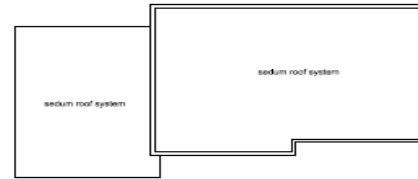
Proposed Site Layout and Block Plan



Floor Plans



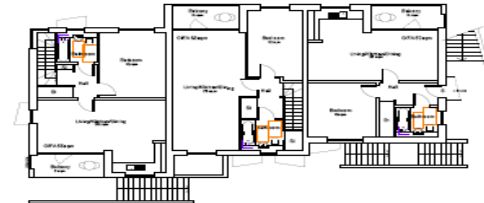
Roof Plan Block A



Roof Plan Block B



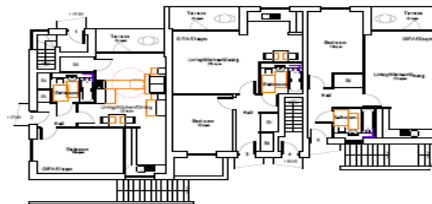
Upper Ground Floor Block A
3 x 25 4P House @ 40sqm



Upper Ground Floor Block B
3 x 18 2P Flats



Lower Ground Floor Block A
3 x 25 4P House @ 50sqm



Lower Ground Floor Block B
3 x 18 2P Flats

Notes:
1. All dimensions are in millimeters unless otherwise stated.
2. All dimensions are to the center of the wall unless otherwise stated.
3. All dimensions are to the center of the window unless otherwise stated.
4. All dimensions are to the center of the door unless otherwise stated.
5. All dimensions are to the center of the staircase unless otherwise stated.
6. All dimensions are to the center of the lift unless otherwise stated.
7. All dimensions are to the center of the elevator unless otherwise stated.
8. All dimensions are to the center of the ramp unless otherwise stated.
9. All dimensions are to the center of the stairs unless otherwise stated.
10. All dimensions are to the center of the lift unless otherwise stated.

PLANNING

B	Size of Upper Ground Block B (see table below)	40
A	Size of Upper Ground Block A (see table below)	40
A	Size of Lower Ground Block A (see table below)	40
B	Size of Lower Ground Block B (see table below)	40

Pellings

Architectural Services
100 High Street, London, E14 4JF
Tel: 020 7463 4000
www.pellings.com

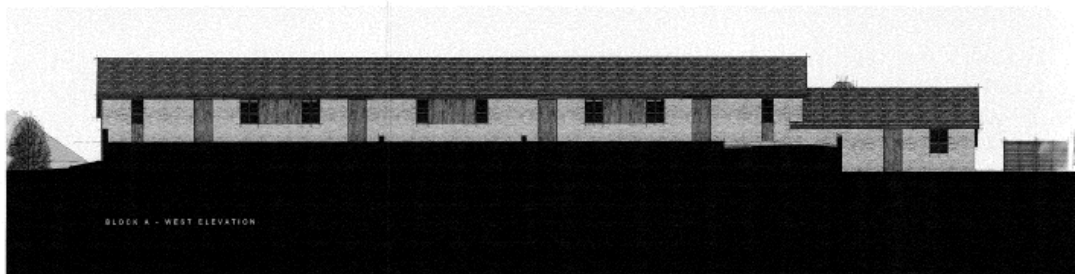
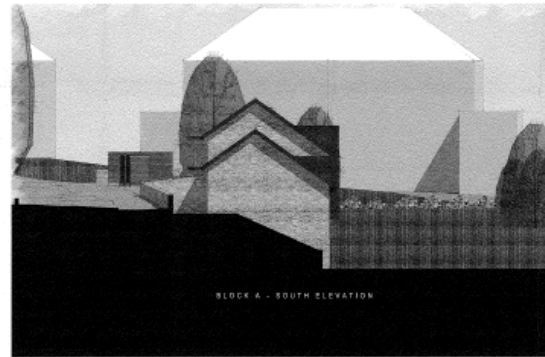
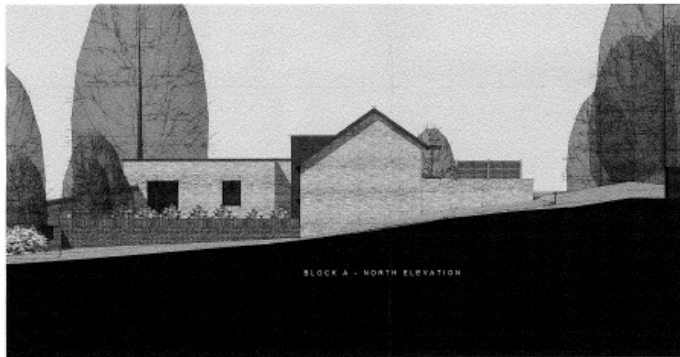
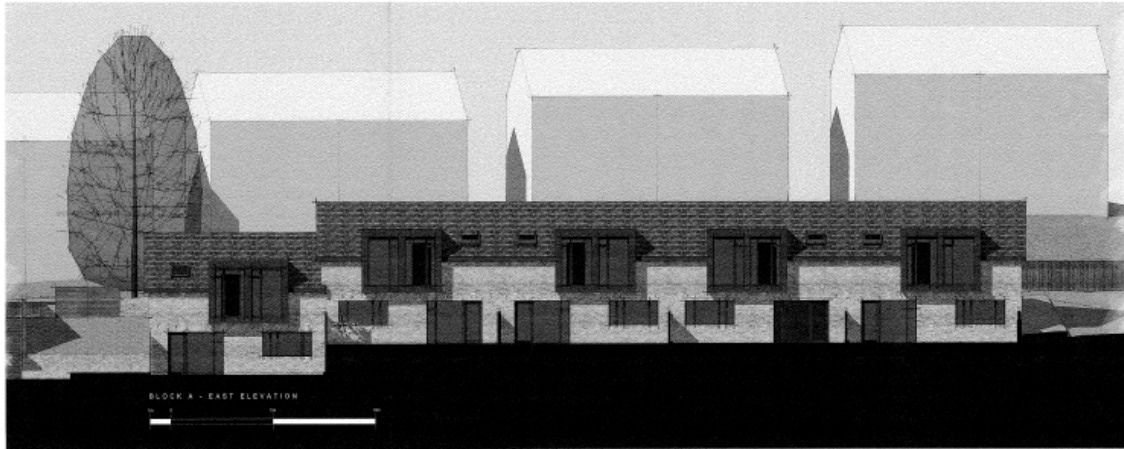
MHS Homes

100 Fleet Road, Rochester

Proposed GA Plans

71210121PL03 | B

Proposed Elevations Block A



NOTES

1. Report all dimensions, notes, and conditions.
 2. Do not scale from this drawing.
 3. Verify all dimensions on site before commencing any work or preparing shop drawings.
 4. All materials, components and workmanship are to comply with all applicable codes and standards.
 5. All materials, components and workmanship are to be of the highest quality and appropriate for the intended use.
 6. All materials, components and workmanship are to be of the highest quality and appropriate for the intended use.
 7. All materials, components and workmanship are to be of the highest quality and appropriate for the intended use.
 8. All materials, components and workmanship are to be of the highest quality and appropriate for the intended use.
 9. All materials, components and workmanship are to be of the highest quality and appropriate for the intended use.
 10. All materials, components and workmanship are to be of the highest quality and appropriate for the intended use.

PLANNING



SCANNED
Pellings

Pellings LLP
 25 Exchange Road, Rochester, NY 14623
 716.241.2111 | 202.833.2111 | www.pellings.com
 Architecture & Planning | Building Permitting & Project Management
 Civil Construction & CM Construction

MHS Homes - 1 AUG 2014

PROJECT
 Fleet Road, Rochester

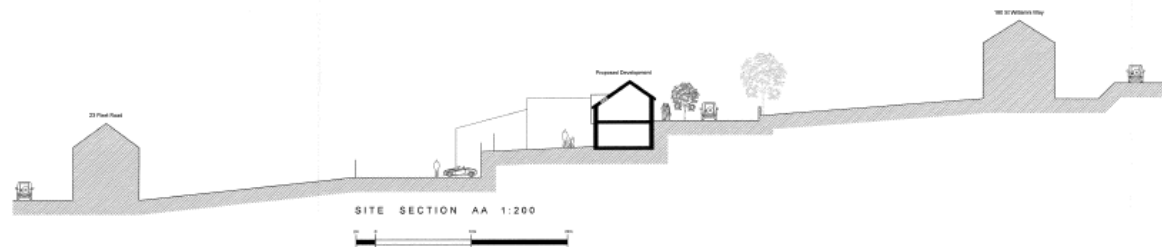
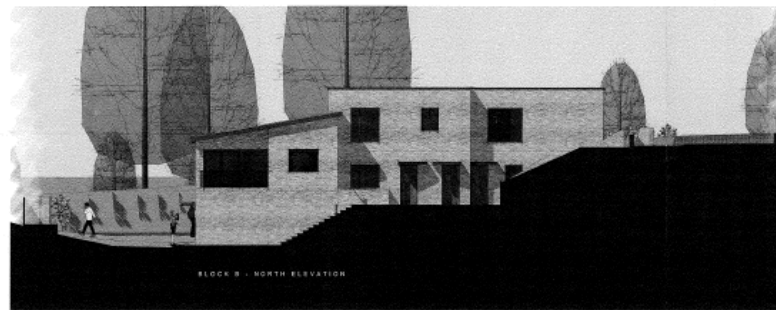
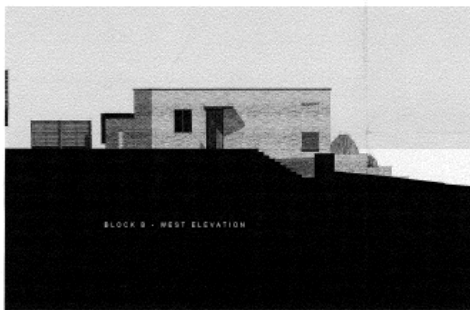
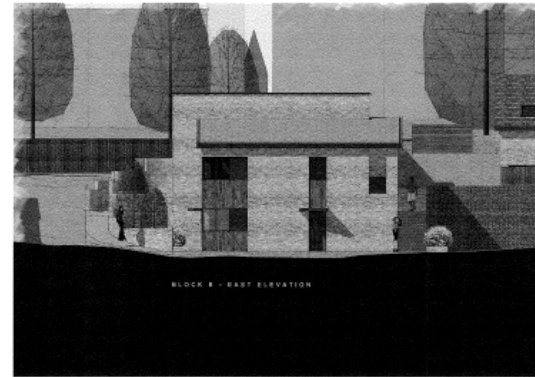
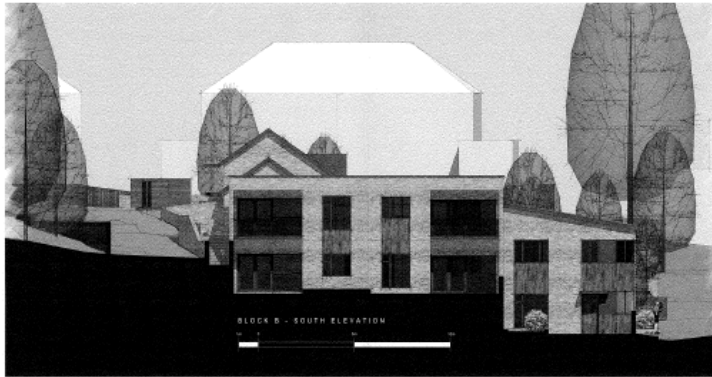
MC/14/2145

TITLE
 Proposed Elevations
 Block A

DATE: JULY 14 SCALE: 1/8" @ 1' DRAWN: NP

DRAWING NO.: 712/012/PL04 | A

Proposed Elevations Block B and Site Section AA



NOTES:
 Report all dimensions, errors and omissions.
 Do not rely on the title of these drawings.
 Check all dimensions on site before commencing any work or preparing other drawings.
 All materials, components and workmanship are to comply with all the relevant building regulations, codes of practice and applicable standards unless otherwise stated.
 For all enquiries with the design team please contact the architect.
 The drawing and design are copyright of PELLINGS LLP.

PLANNING



PELLINGS LLP
 24 Redwood Road, South Easton, Suffolk
 IP19 6JH
 Architecture & Planning • Building Services & Project Management • Cost Estimating & CDM Co-ordination

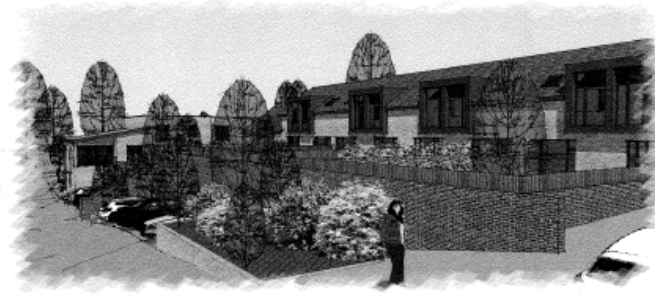
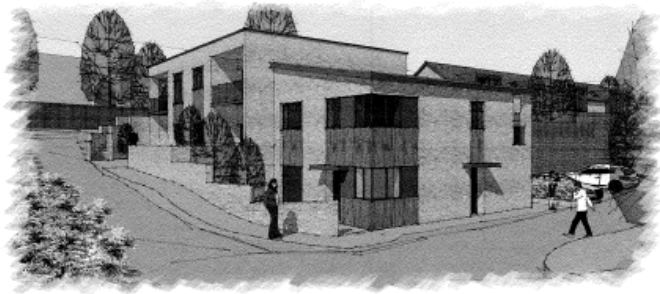
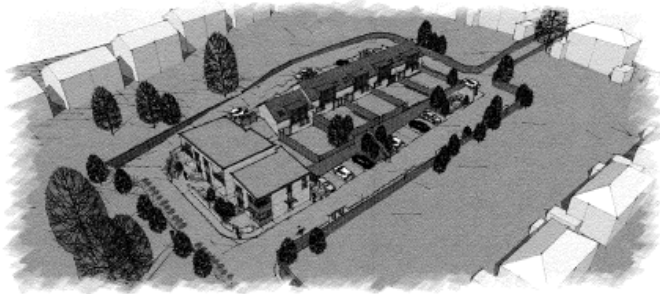
MHS Homes
 - 1 AUG 2016

PROJECT
 Fleet Road, Rochester
 MC / 14 / 2145

DATE
 Proposed Elevations Block B and Site Section AA

DATE: JULY 14
 SCALE: 1:100 @A1
 DRAWN: NP
 712 012 PL05

Indicative Perspective Views



NOTES
 Report all discrepancies, errors and omissions.
 Do not scale from this drawing.
 Verify all dimensions on site before commencing any work or preparing other drawings.
 All materials, components and workmanship are to comply with all the relevant British Standards, Codes of Practice, and appropriate manufacturers' recommendations that then apply to the final work.
 See all quantities notes on the final drawings.
 This drawing and design are copyright of PELLINGS LLP

Materials Schedule

Walls - Check brickwork with contractor before to confirm panels on site and all U.L.A. approval.
 Windows and doors - Check double glazed windows and doors. Make entrance door to be timber as indicated. Check landscaping to be confirmed.
 Roofs - Confirm roof system to Bata and then to confirm to U.A. approval

PLANNING



SCANNED

Pellings

Pellings LLP
 25 Wilton Road, London, East M1 3JL
 E: london@pellings.com or london@pellings.co.uk
 W: www.pellings.com
 Architecture & Planning • Building Services • Project Management & Cost Consultancy • CEMBA member

Client: MHS Homes
 - 1 AUG 2014

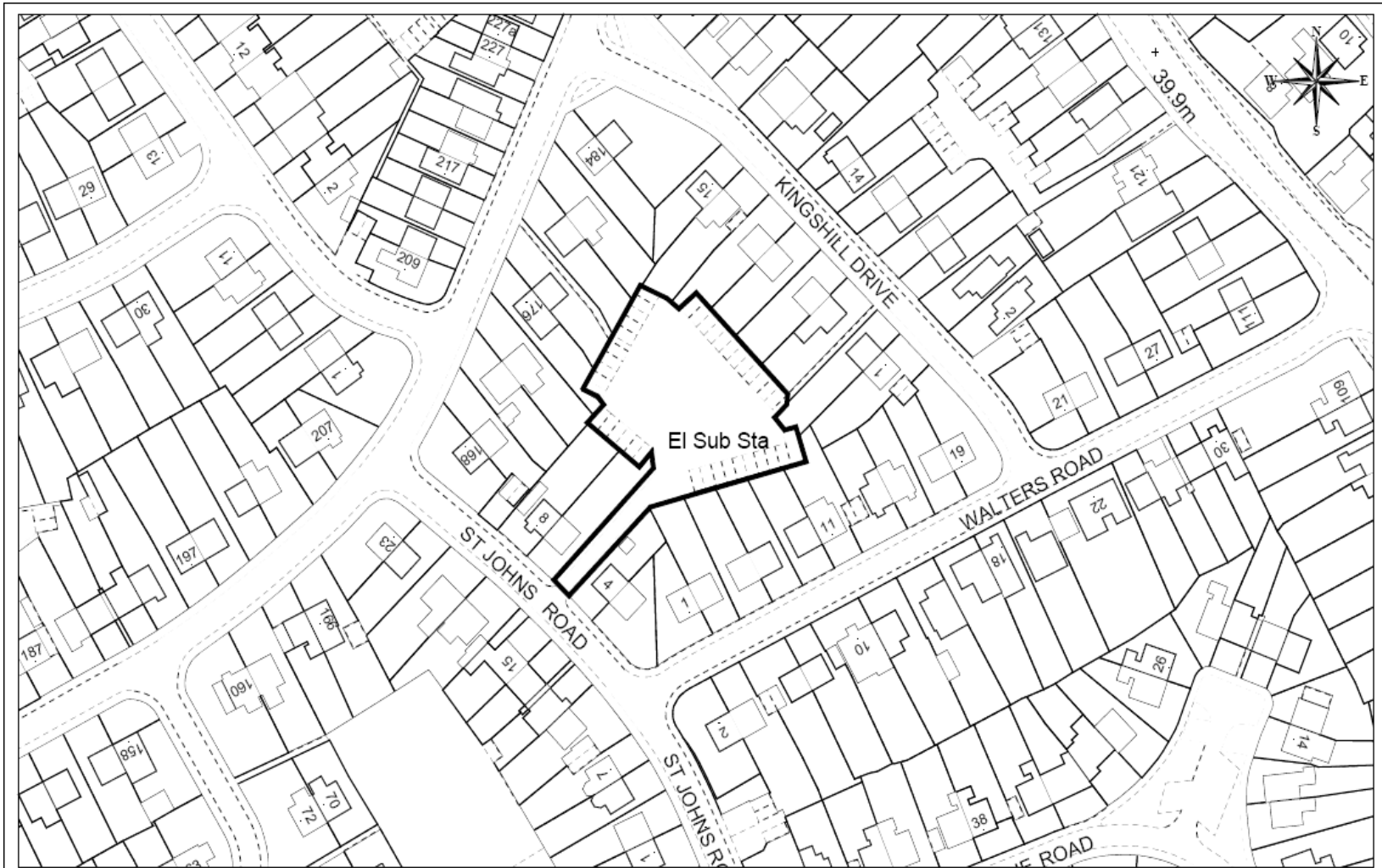
Project: Fleet Road, Rochester
 MC / 14 / 2145

Title: Indicative Perspective Views

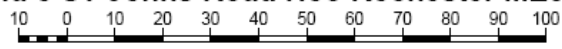
DATE: JULY 14
 DRAWN: RYB @A1
 CHECKED: MP
 DRAWING NO: 712/012/PL06

MC/14/2734

Garage Site To Rear Of 4 And 6, St
Johns Road, Hoo, Rochester,



MC/14/2734 Garage Site To Rear of 4 and 6 ST Johns Road Hoo Rochester ME3 9JT



This map is reproduced from/based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationary Office
© Crown copyright and/or database right, 2013. All rights reserved. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings 100024225.

Medway
Serving You
Scale: 1:1250 21/10/14
© Medway Council, 2013



24.09.2014









24.09.2014



24.09.2014







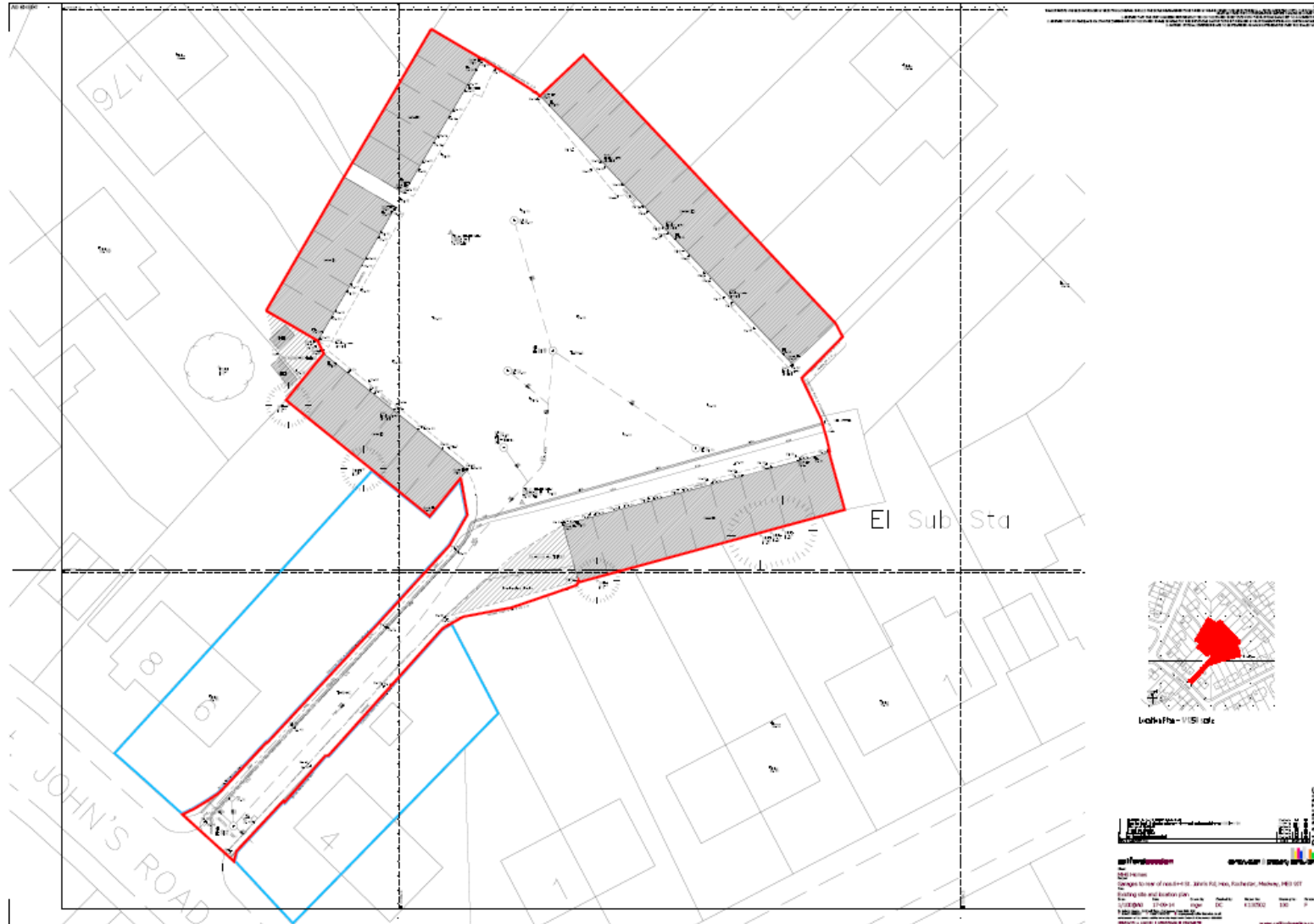
24.09.2014



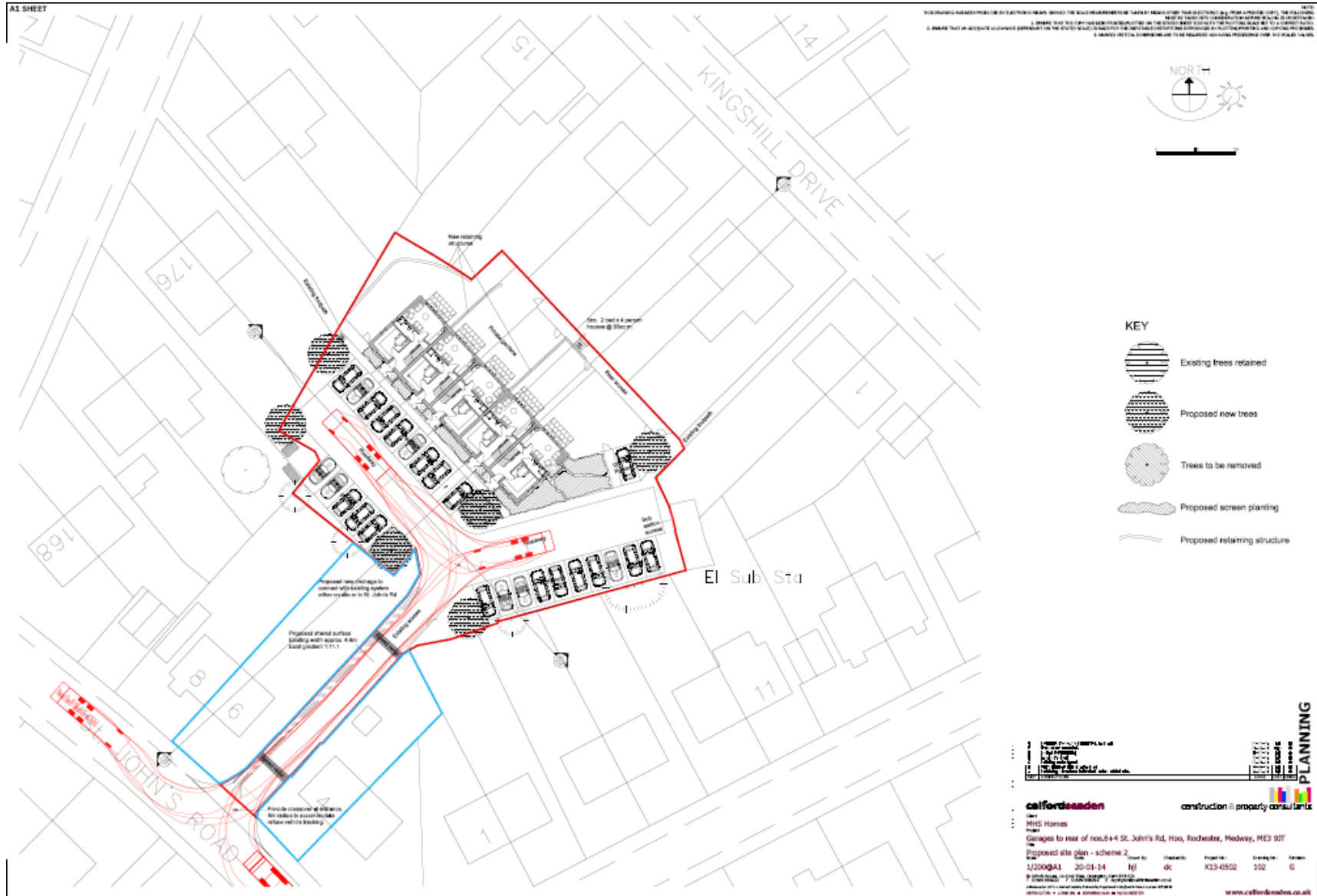




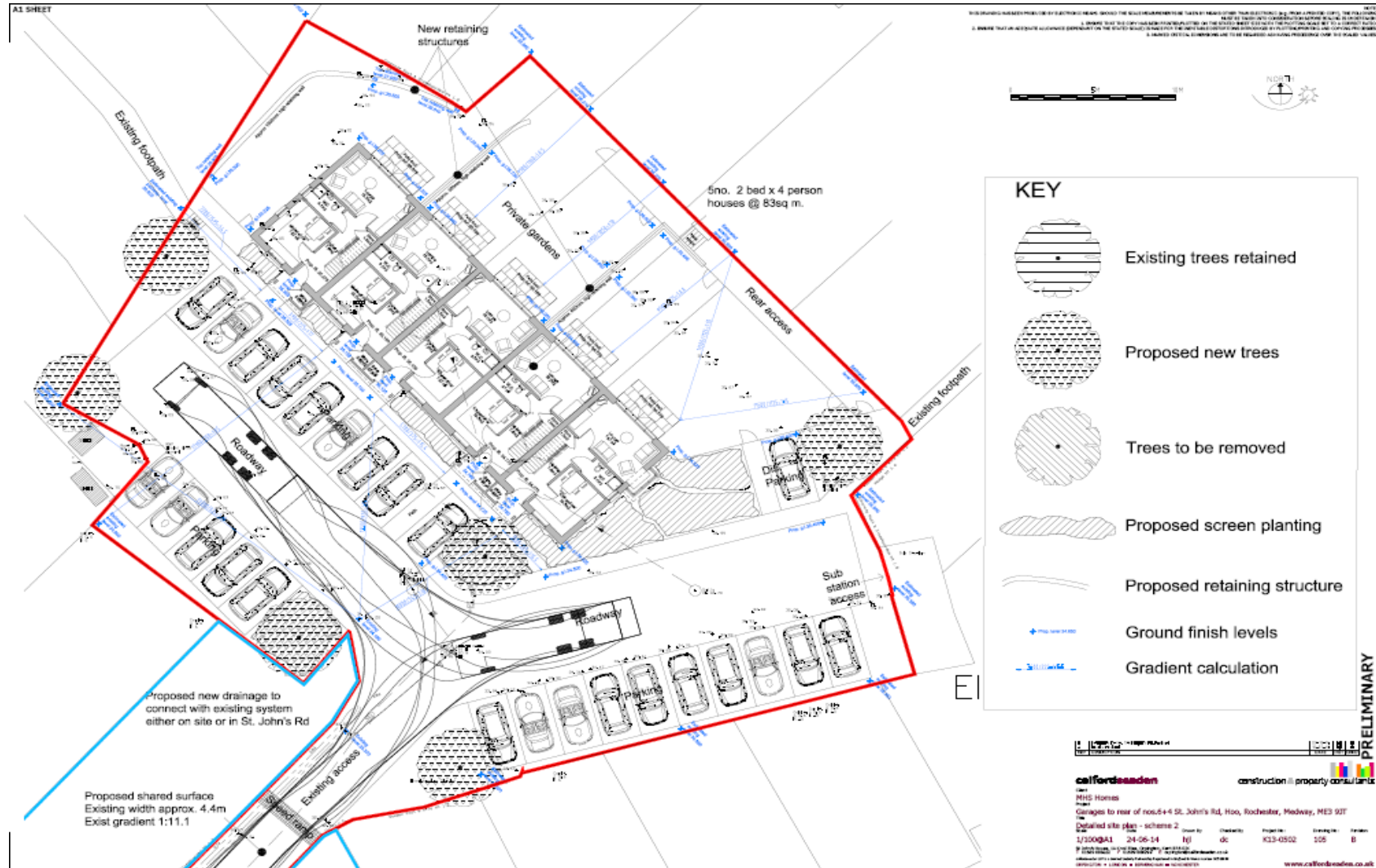
Existing Site and Location Plan



Detailed Site Plan



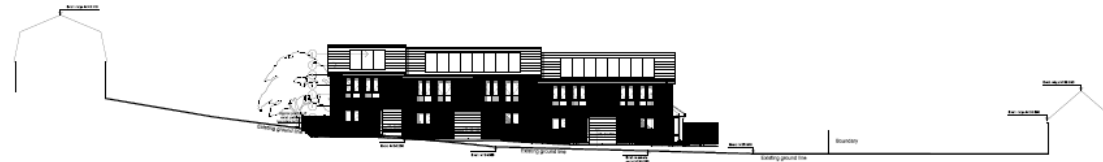
Detailed Site Plan – Scheme 2



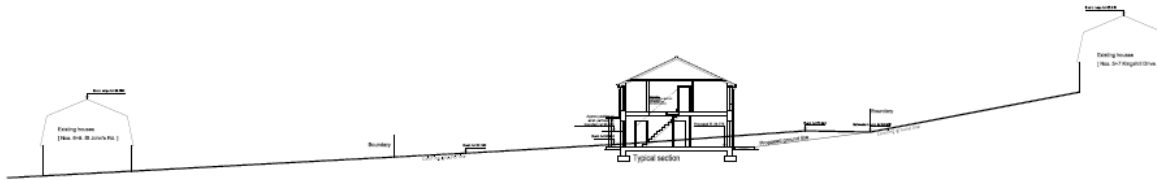
Site Sections

NO SCALE

THESE ARCHITECTURAL DRAWINGS ARE THE PROPERTY OF JENNIFER HUNTER ARCHITECTS. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF JENNIFER HUNTER ARCHITECTS IS STRICTLY PROHIBITED. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF JENNIFER HUNTER ARCHITECTS.



SECTION 2-2 (along centreline of existing roadway)



SECTION 1-1

MC/14/2723

Garage Site Adjacent To 44 Wall
Close, Hoo, Rochester



MC/14/2723 Garage Site Adjacent to 44 Wall Close Hoo

10 0 10 20 30 40 50 60 70 80 90 100
 This map is reproduced from based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office.
 © Crown Copyright and/or database right, 2013. Unauthorized reproduction may lead to prosecution or civil proceedings. 100024225.

Medway
 Serving You

Scale: 1:1250 27/10/14

© Medway Council, 2013







24.09.2014







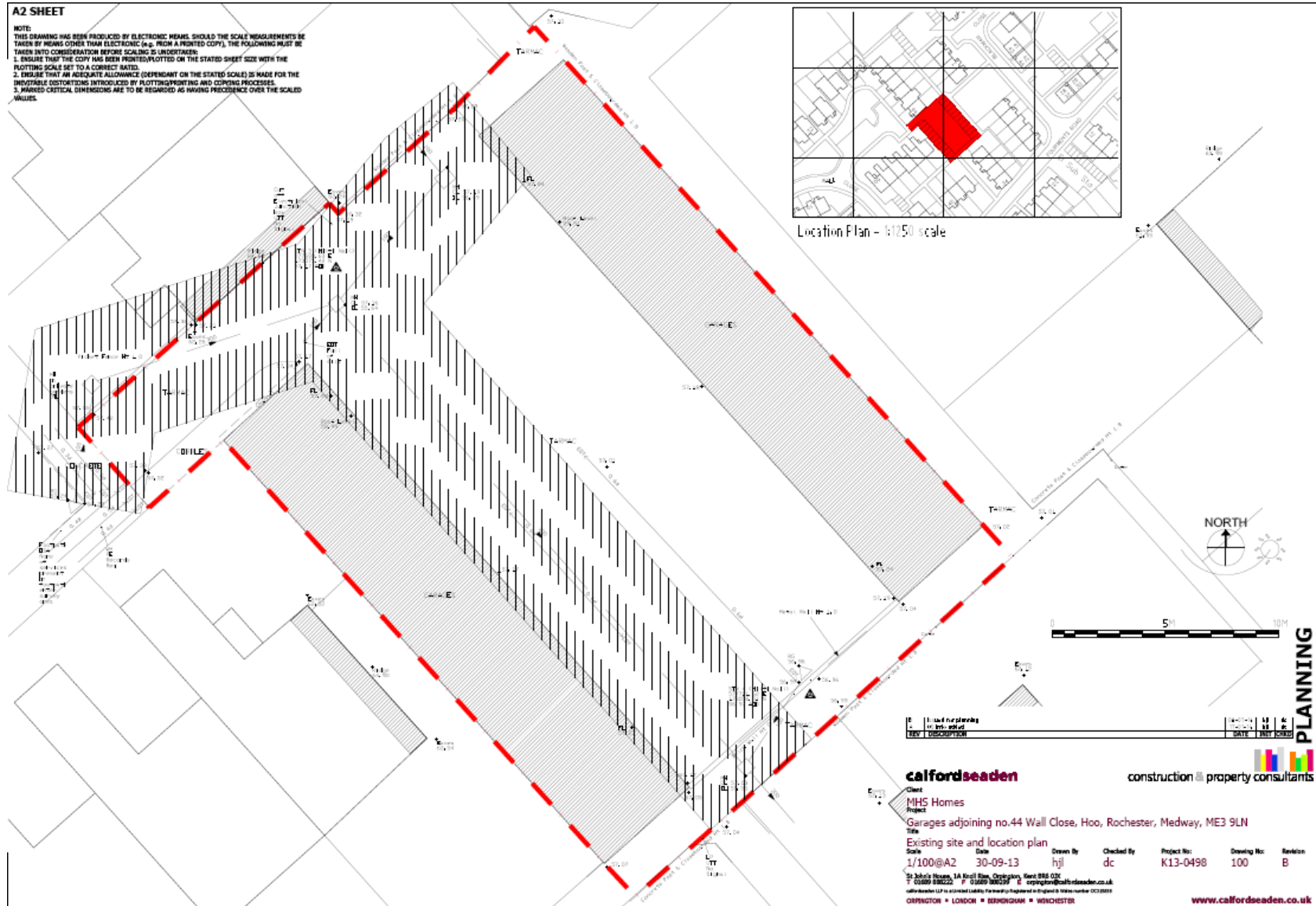
24.09.2014







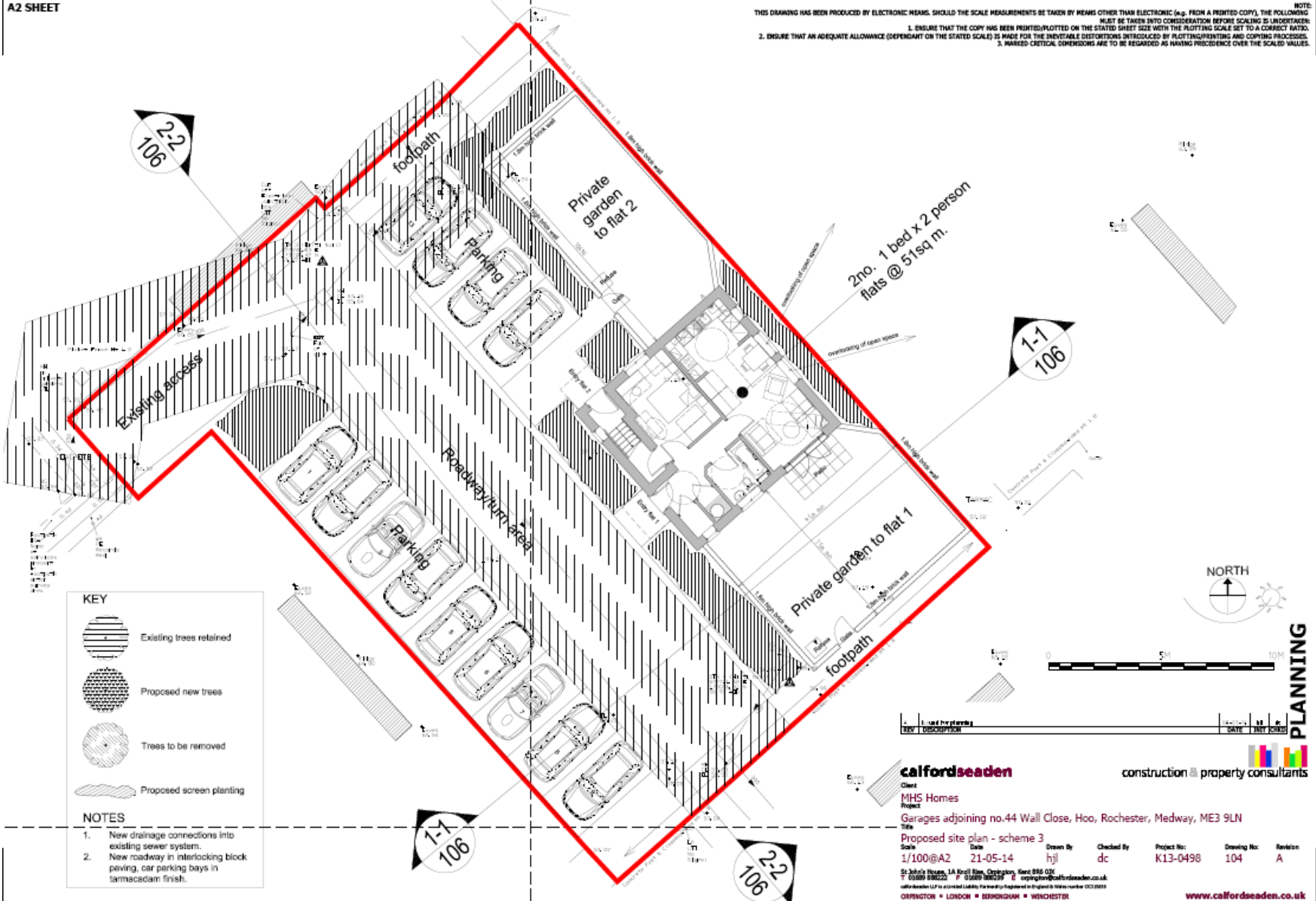
Existing Site and Location Plan



Proposed Site Plan

A2 SHEET

THIS DRAWING HAS BEEN PRODUCED BY ELECTRONIC MEANS. SHOULD THE SCALE MEASUREMENTS BE TAKEN BY MEANS OTHER THAN ELECTRONIC (e.g. FROM A PRINTED COPY), THE FOLLOWING MUST BE TAKEN INTO CONSIDERATION BEFORE SCALING IS UNDERTAKEN:
 1. ENSURE THAT THE COPY HAS BEEN PRINTED/PLOTTED ON THE STATED SHEET SIZE WITH THE PLOTTING SCALE SET TO A CORRECT RATIO.
 2. ENSURE THAT AN ADEQUATE ALLOWANCE (DEPENDANT ON THE STATED SCALE) IS MADE FOR THE INEVITABLE DISTORTIONS INTRODUCED BY PLOTTING/PRINTING AND COPYING PROCESSES.
 3. MARKED CRITICAL DIMENSIONS ARE TO BE REGARDED AS HAVING PRECEDENCE OVER THE SCALED VALUES.



KEY

- Existing trees retained
- Proposed new trees
- Trees to be removed
- Proposed screen planting

NOTES

1. New drainage connections into existing sewer system.
2. New roadway in interlocking block paving, car parking bays in tarmac/siam finish.

REV	DESCRIPTION	DATE	BY	CHKD
1	Issue for planning			

calfordseaden
 Client: MHS Homes
 Project: Garages adjoining no.44 Wall Close, Hoo, Rochester, Medway, ME3 9LN
 Title: Proposed site plan - scheme 3
 Scale: 1/100@A2 Date: 21-05-14 Drawn By: hjl Checked By: dc Project No: K13-0498 Drawing No: 104 Revision: A

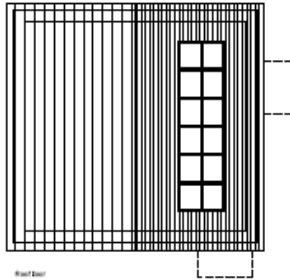
St John's House, 1A North Elm, Oxtford, Kent ME8 0DE
 T: 01893 880222 F: 01893 880219 E: enquiries@calfordseaden.co.uk
 Calfordseaden LLP is a limited liability partnership registered in England no. 02320093
 OXFORDTON ■ LONDON ■ BIRMINGHAM ■ WINCHESTER

construction & property consultants

www.calfordseaden.co.uk

Building Plans and Elevations

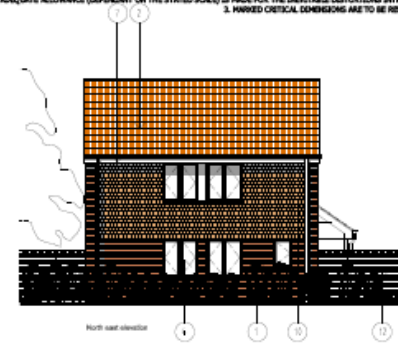
A2 SHEET



West Elev



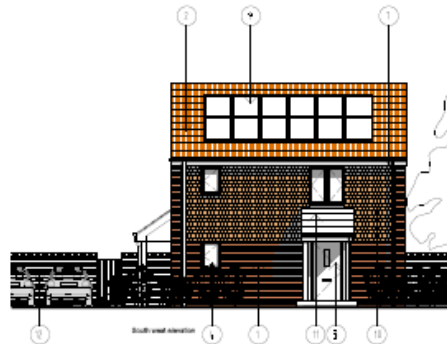
North-west elevation



North-east elevation



First floor



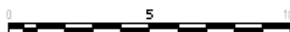
South-west elevation



South-east elevation



Ground floor



THIS DRAWING HAS BEEN PRODUCED BY ELECTRONIC MEANS. SHOULD THE SCALE MEASUREMENTS BE TAKEN BY MEANS OTHER THAN ELECTRONIC (i.e. FROM A PRINTED COPY), THE FOLLOWING MUST BE TAKEN INTO CONSIDERATION BEFORE SCALING IS UNDERTAKEN:
 1. ENSURE THAT THE COPY HAS BEEN PRINTED/PLOTTED ON THE STATED SHEET SIZE WITH THE PLOTTING SCALE SET TO A CORRECT RATIO.
 2. ENSURE THAT AN ADEQUATE ALLOWANCE (DEPENDANT ON THE STATED SCALE) IS MADE FOR THE INEVITABLE DISTORTIONS INTRODUCED BY PLOTTING/PRINTING AND COPYING PROCESSES.
 3. MARKED CRITICAL DIMENSIONS ARE TO BE REGARDED AS HAVING PRECEDENCE OVER THE SCALED VALUES.

KEY TO FINISHED MATERIALS

1. Faint red brickwork.
2. Faint blue and matching ridge tile. 60 degree pitch.
3. Entrance door.
4. White tiled half wall and window sills.
5. White tiled half track down and glass of the screen.
6. Flat roof solar panel.
7. White tiled top track and orange beaded fascia.
8. White high brick bonded finish.
9. Indirect solar panel.
10. Horizontal plain tile hanging. 45 degree to the gable and the ridge.
11. Entrance porch with timber columns and flat roof.
12. White high brick wall.

NO.	DESCRIPTION	DATE	BY	CHKD
1	As attached, issued for work on this sheet and for planning			

calfordseaden

construction & property consultants

Client: MHS Homes
 Project: Garages adjoining no.44 Wall Close, Hoo, Rochester, Medway, ME3 9LN

Title: Building plans and elevations - scheme 3
 Scale: 1/100@A2 Date: 21-05-14 Drawn By: hjl Checked By: dc Project No: K13-0-98 Drawing No: 105 Revision: B

St John's House, 34 Road Way, Orpington, Kent ME6 0EJ
 T: 01689 890222 F: 01689 890200 E: info@calfordseaden.co.uk
 calfordseaden LLP is a limited liability partnership registered in England & Wales number OC19888
 ORPINGTON - LONDON - BIRMINGHAM - WINCHESTER

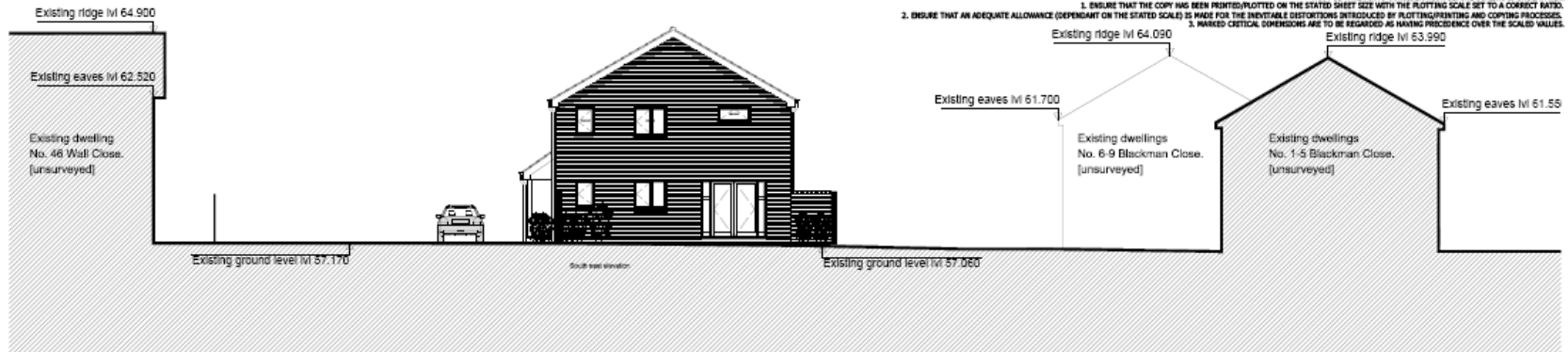
www.calfordseaden.co.uk

PLANNING

Proposed Site Sections

A2 SHEET

NOTE:
THIS DRAWING HAS BEEN PRODUCED BY ELECTRONIC MEANS. SHOULD THE SCALE MEASUREMENTS BE TAKEN BY MEANS OTHER THAN ELECTRONIC (e.g. FROM A PRINTED COPY), THE FOLLOWING MUST BE TAKEN INTO CONSIDERATION BEFORE SCALING IS UNDERTAKEN:
1. ENSURE THAT THE COPY HAS BEEN PRINTED/PLOTTED ON THE STATED SHEET SIZE WITH THE FLOATING SCALE SET TO A CORRECT RATIO.
2. ENSURE THAT AN ADEQUATE ALLOWANCE (DEPENDANT ON THE STATED SCALE) IS MADE FOR THE INEVITABLE DISTORTIONS INTRODUCED BY FLOATING/PRINTING AND COPYING PROCESSES.
3. MARKED CRITICAL DIMENSIONS ARE TO BE REGARDED AS HAVING PRECEDENCE OVER THE SCALED VALUES.



Site Section 1-1

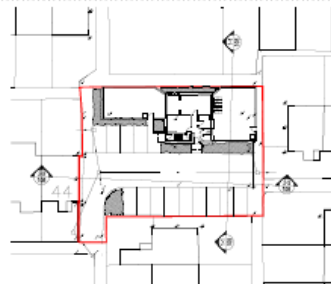


Datum lvl 50.000



Site Section 2-2

Datum lvl 50.000



REV	DESCRIPTION	DATE	BY	CHKD

calfordseaden

construction property consultants

Client: MHS Homes
Project: Garages adjoining no.44 Wall Close, Hoo, Rochester, Medway, ME3 9LN
Title: Proposed site sections - scheme 3

Scale: 1/100@A2 Date: 09-07-14 Drawn By: hjl Checked By: dc Project No: K13-0498 Drawing No: 106 Revision:

24 John's House, 1A Road Film, Coptham, Kent BR8 0XZ
T 01893 888222 F 01893 888219 E csp@calfordseaden.co.uk
calfordseaden LLP is a limited liability partnership registered in England & Wales number 0523016
ORPINGTON • LONDON • BIRMINGHAM • WINCHESTER

www.calfordseaden.co.uk

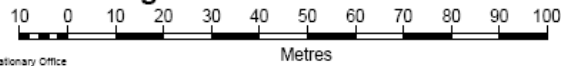
PLANNING

MC/14/2590

Land Adjacent to 29 Shelden Drive,
Gillingham



MC/14/2590 Land Adjacent to 29 Shelden Drive Rainham Gillingham ME8 8JH



This map is reproduced from/based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationary Office
© Crown copyright and/or database right, 2013. All rights reserved. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings 100024225.



Scale: 1:1260 21/10/14
© Medway Council, 2013



22.09.2014







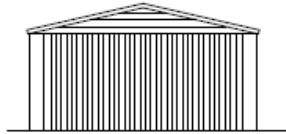




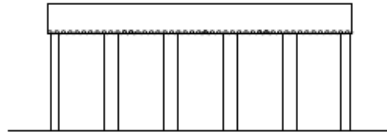




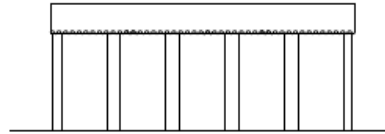
Existing Plans



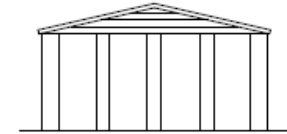
EXISTING SOUTH ELEVATION 1:100



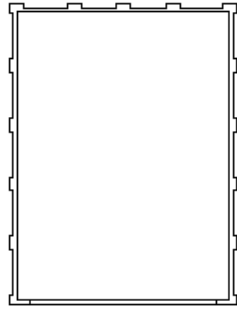
EXISTING EAST ELEVATION 1:100



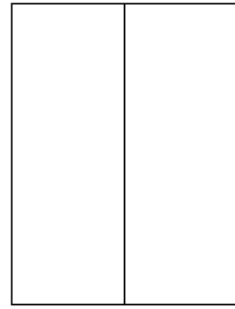
EXISTING WEST ELEVATION 1:100



EXISTING NORTH ELEVATION 1:100



EXISTING FLOOR PLAN 1:100



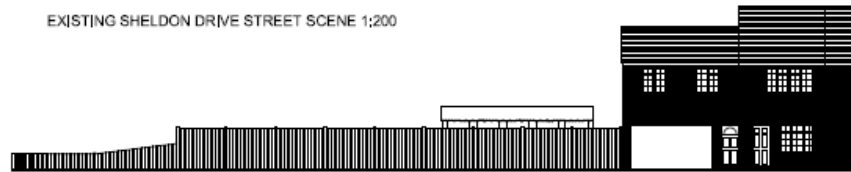
EXISTING ROOF PLAN 1:100



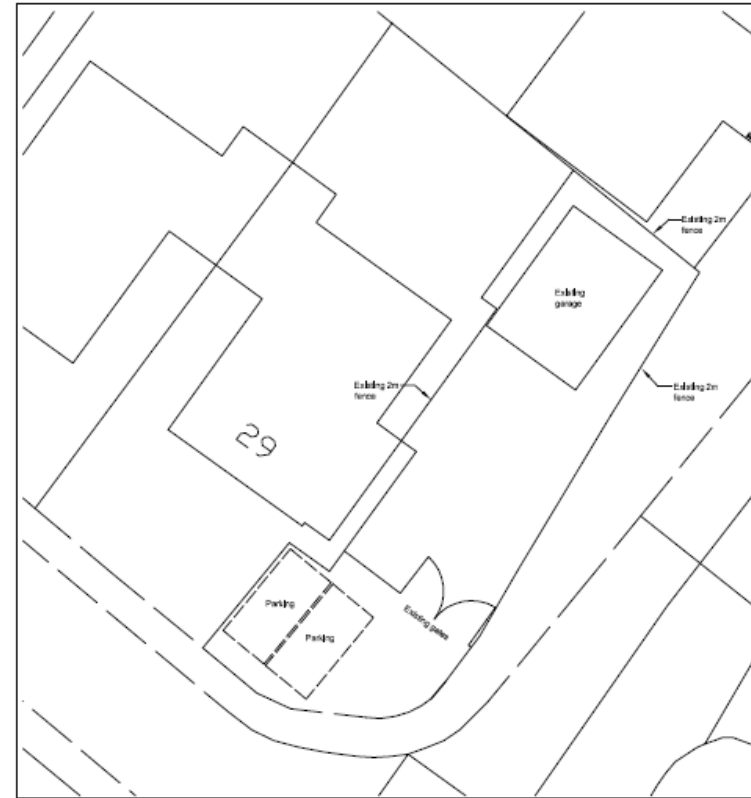
SCALE BAR 1:100



EXISTING SHELDON DRIVE STREET SCENE 1:200



EXISTING MIERSCOURT ROAD STREET SCENE 1:200



EXISTING BLOCK PLAN 1:200



SCALE BAR 1:200



WOODSTOCK ASSOCIATES

KEITH PLUMB - MRGAT AMANI
 Member of the British Institute of Architectural Technologists
 PLANNING - DESIGN - SURVEYING
 53 Woodstock Road, Sittingbourne, Kent ME10 4HJ
 Telephone: 01795 476113

info:

LAND ADJACENT TO
 29 SHELDON DRIVE
 RAINHAM
 KENT

by:

MR S POTTER

scale:

1:100 @A3

date:

OCTOBER 2014

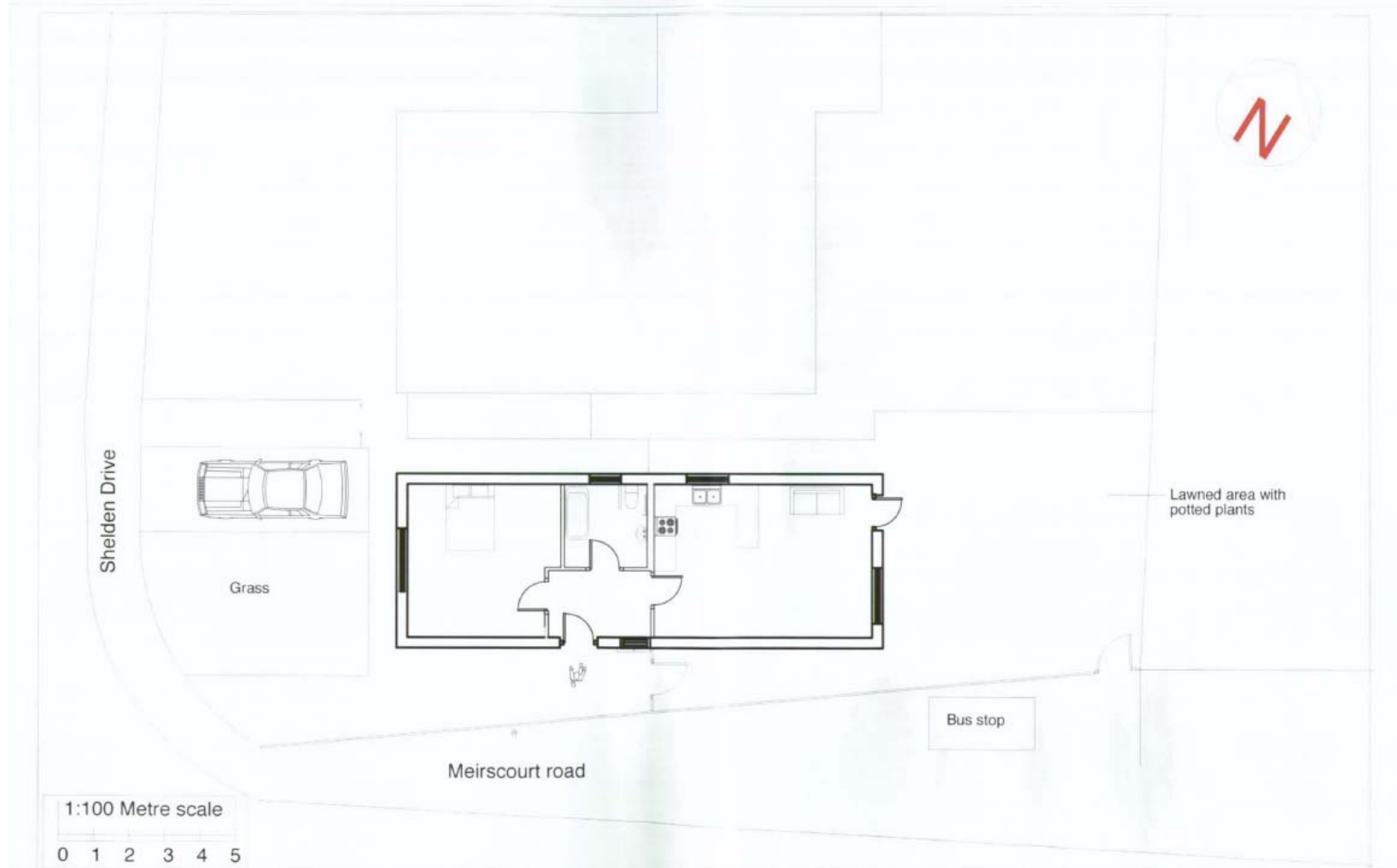
number:


PO/14/114,03 rev A

Previous scheme

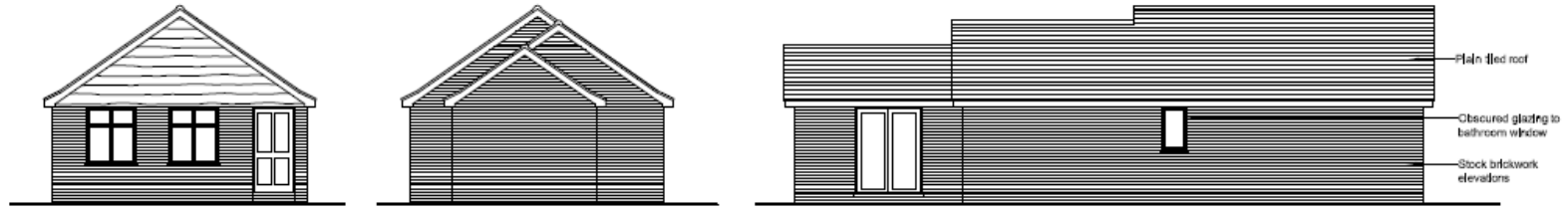


Previous scheme



<p>Title: Proposed plan surrounding context</p>	<p>Project: Land adjacent to 29 Shelden Drive Rainham Gillingham Kent ME8 8JH</p>	<p>Client: STEVE POTTER</p>	
<p>Scale: 1:100 @ A3</p>	<p>Drawing no: Shelden / 004</p>	<p><small>Figured dimensions are to be followed in preference to dimensions scaled from drawings. All dimensions are to be checked on site by contractors and used dimensions are to be their responsibility. Drawing errors and omissions to be reported to the designer. Contractors to conform to all current Building and Planning Regulations and laws with relevant Local Authority Departments.</small></p>	<p><small>-Email- Setcreatives@inbox.com -Tel- 07961627176</small></p>

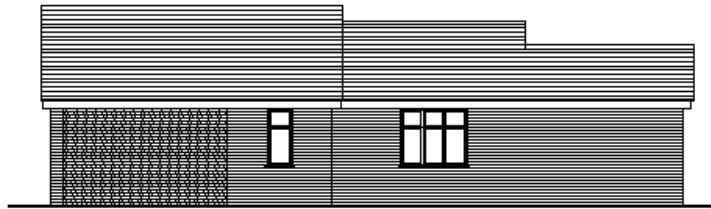
Proposed Plans



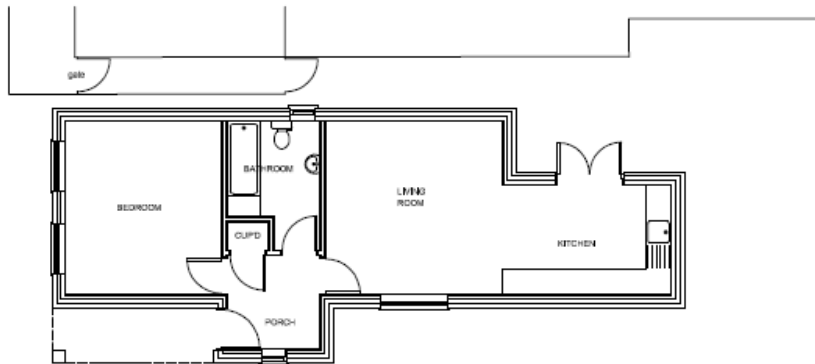
PROPOSED SOUTH ELEVATION 1:100

PROPOSED NORTH ELEVATION 1:100

PROPOSED WEST ELEVATION 1:100



PROPOSED EAST ELEVATION 1:100



PROPOSED GROUND FLOOR PLAN 1:100



SCALE BAR 1:100



WOODSTOCK ASSOCIATES

KEITH PLUMB MGAAT
 Member of the Chartered Institute of Architectural Technicians
 PLANNING - DESIGN - SURVEYING
 53 Woodstock Road, Slingbourne, Kent ME10 4HJ
 Telephone: 01795 476113

site

LAND ADJACENT TO
 29 SHELDON DRIVE
 RAINHAM
 KENT

client

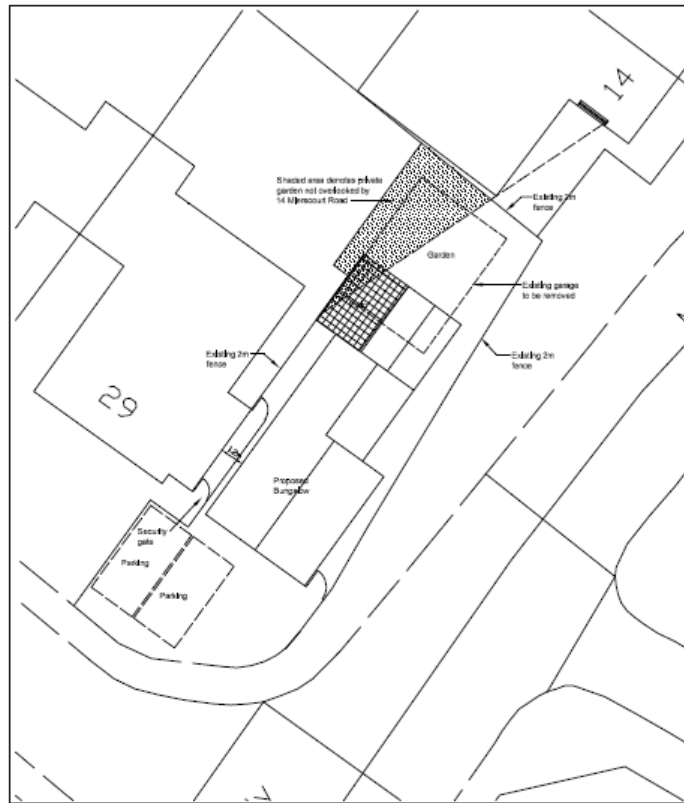
MR S POTTER

scale 1:100 @A3

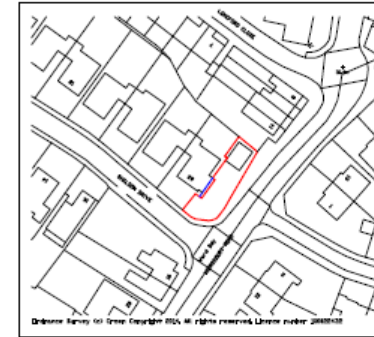
date OCTOBER 2014

ref PQ/14/114,01 rev A

Location and Block Plans



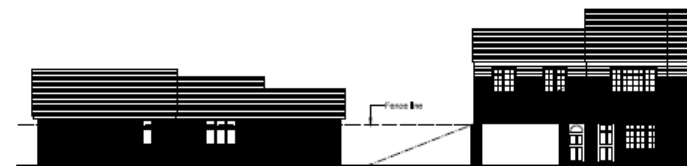
BLOCK PLAN 1:200



LOCATION PLAN 1:1250



PROPOSED SHELDON DRIVE STREET SCENE 1:200



PROPOSED MIERSCOURT ROAD STREET SCENE 1:200



WOODSTOCK ASSOCIATES
 KEITH PLUMB H&AT
 Member of the Chartered Institute of Architectural Technologists
 PLANNING • DESIGN • SURVEYING
 53 Woodstock Road, Sillingbourne, Kent ME10 4HJ
 Telephone: 01795 476113

LAND ADJACENT TO
 29 SHELDON DRIVE
 RAINHAM
 KENT

MR S POTTER

1:200/1:1250 @A3

OCTOBER 2014

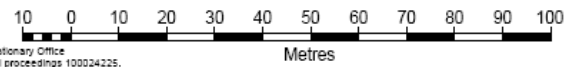
PO/14/114,02 rev A

MC/14/1818

Land Adjacent 23 Symons Avenue,
Chatham



MC/14/1818 Land Adjacent of 23 Symons Avenue Chatham ME4 5UP



This map is reproduced from/based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationary Office
© Crown copyright and/or database right, 2013. All rights reserved. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings 100024225.



Scale: 1:1250 21/10/14
© Medway Council, 2013

Symons Avenue Looking North



Site in Context



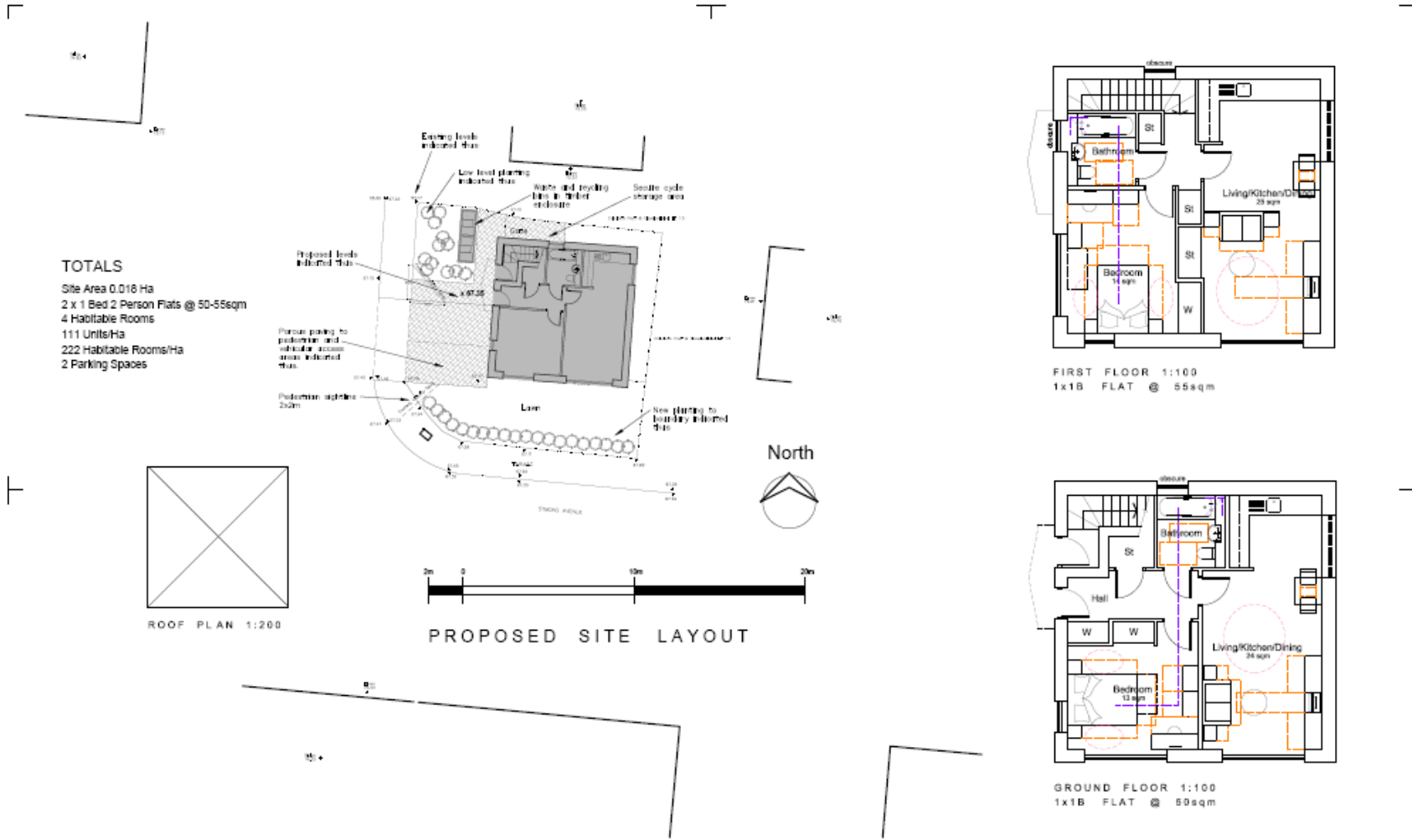
View from Junction of Buller Road and Symons Avenue



Perspective



Site Layout and Floor Plans



Notes:
 1. Subject to all covenants, conditions and restrictions.
 2. Do not scale dimensions from drawings.
 3. All dimensions are to the centre of the wall unless otherwise stated.
 4. All measurements are to be taken from the centre of the wall unless otherwise stated.
 5. All measurements are to be taken from the centre of the wall unless otherwise stated.
 6. All measurements are to be taken from the centre of the wall unless otherwise stated.
 7. All measurements are to be taken from the centre of the wall unless otherwise stated.

PRELIMINARY

Rev	Date	Description	Name
1	02/10/2013	Proposed Site Layout and GA Plans	



Pellings LLP 24 Wilton Road, Brighton, East Sussex BN1 1JF 01323 890011 01323 825529 info@pellings.co.uk www.pellings.co.uk		Architecture & Planning • Building Surveying • Project Management & Cost Consulting • QS • Coordination	
Client:	MHS Homes	Project:	Symons Avenue
Date:	02/10/2013	Scale:	1:200 @ A3
Drawn by:	MP	Check:	IE
Proposed Site Layout and GA Plans		712 018 SK3 IE	

Elevations



NOTES:
 1. Subject of drawings, name, and address.
 2. Do not scale these drawings.
 3. All of drawings are the property of the client.
 4. All drawings, including and not including are the property of the client.
 5. All drawings are the property of the client.
 6. All drawings are the property of the client.
 7. All drawings are the property of the client.
 8. All drawings are the property of the client.
 9. All drawings are the property of the client.
 10. All drawings are the property of the client.

PRELIMINARY

Rev	Date	Description	Name



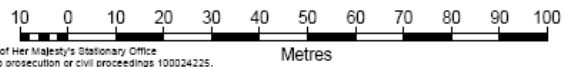
Pellings LLP 24 Wilton Road, Stratford, East London, E15 4JF 020 890 8114 020 890 8115 www.pellings.co.uk		Architecture & Planning Building Surveying & Project Management & Cost Consultancy & BIM Coordination	
Client	MHS Homes	Project	Symons Avenue
Date	NOV 2013	Scale	1:100
Drawn by	Proposed Elevations	Checked by	JP
7121018ISK4		ID	

MC/14/2761

62 Seagull Road, Strood, Rochester



MC/14/2761 62 Seagull Road Strood Rochester ME2 2RH



This map is reproduced from/based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationary Office
© Crown copyright and/or database right, 2013. All rights reserved. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings 100024225.



Scale: 1:1250 21/10/14
© Medway Council, 2013

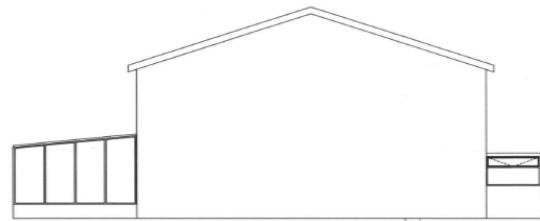
Principal Elevation



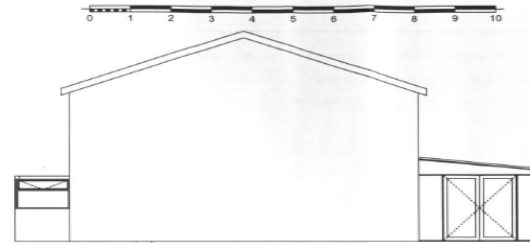
Blocked Access to Side of 62 Seagull Road



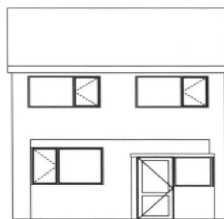
Existing Elevations



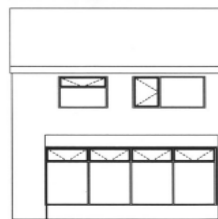
Existing South Elevation 1:100



Existing North Elevation 1:100



Existing East Elevation 1:100

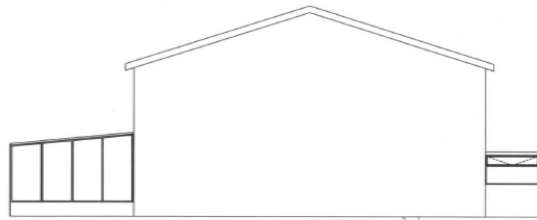


Existing West Elevation 1:100

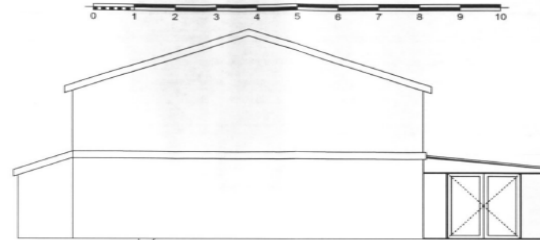
12 SEP 2014
MC / 14 / 2761

Coteq Ltd	
187 Edwin Road Gillingham Kent ME13 9AH	
Job Title Extension to side elevation 62 Seagull Road Strood Kent ME2 2RH	
Drawing Name East Elevation, South Elevation, North Elevation, West Elevation	
Drawing Status Planning	
Drawn by Tony Hawkins	Date 22/01/2014
Drawing Scale 1:100	
Layer ID A.02.1	Status Revision

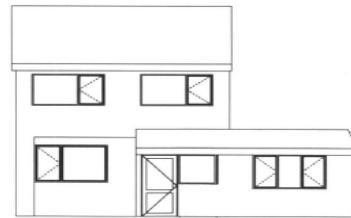
Proposed Elevations



Proposed South Elevation 1:100



Proposed North Elevation 1:100



Proposed East Elevation 1:100

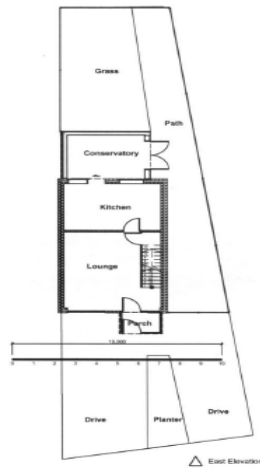


Proposed West Elevation 1:100

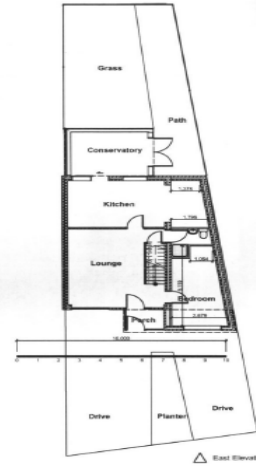
12 SEP 2014
MC / 14 / 2761

Coteq Ltd	
187 Green Road Gillingham Kent ME2 5AH	
Job Title	Extension to side elevation 62 Seagull Road Strood Kent ME2 2RH
Drawing Name	East Elevation, North Elevation, South Elevation, West Elevation
Drawing Status	Planning
Drawn by	Date
Tony Hawkins	23/07/2014
Drawing Scale	1:100
Layout ID	Status Revision
A.02.2	

Existing and Proposed Block Plan



Existing Block Plan 1:200



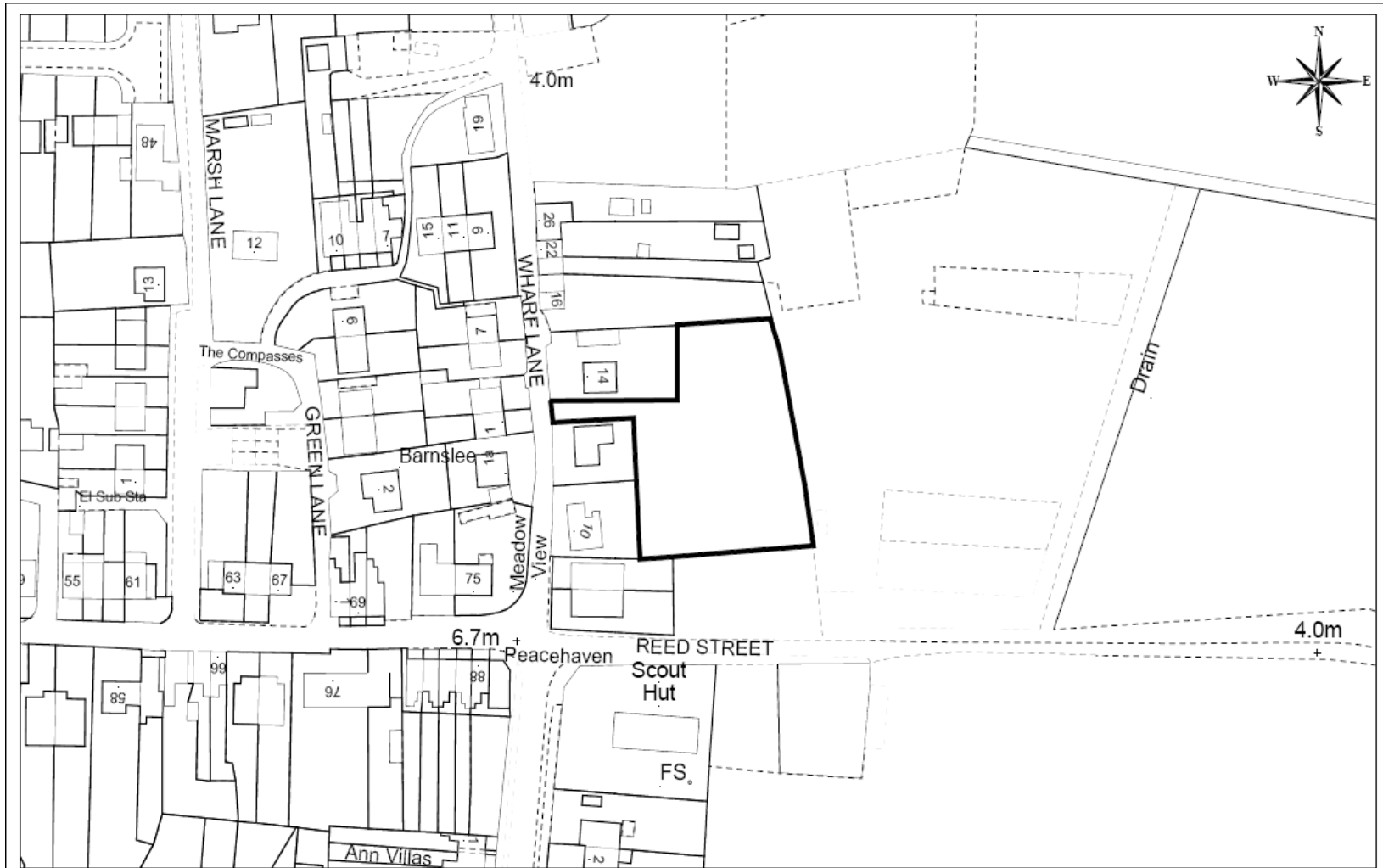
Proposed Block Plan 1:200

12 SEP 2014
MC / 14 / 2761

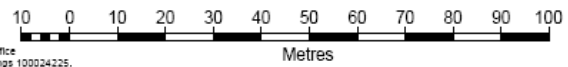
Coteq Ltd	
187, Edwin Road Gillingham Kent ME8 6AH	
Job Title Extension to side elevation 62 Seagull Road Strood Kent ME2 2RH	
Drawing Name Block Plan	
Drawing Status Planning	
Drawn by Tony Hawkins	Date 23/07/2014
Drawing Scale 1:200	
Layout ID A.03.2	Status Revision

MC/14/1626

14 Wharf Lane, Cliffe, Rochester



MC/14/1626 14 Wharf Lane Cliffe Rochester ME3 7UE



This map is reproduced from/based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationary Office
© Crown copyright and/or database right, 2013. All rights reserved. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings 100024225.



Scale: 1:1250 21/10/14
© Medway Council, 2013

Junction of Wharf Lane and Reed Street



View Looking South Along Wharf Lane



View Looking North Along Wharf Lane



Proposed Access Point



Rear of 77 and 79 Reed Street



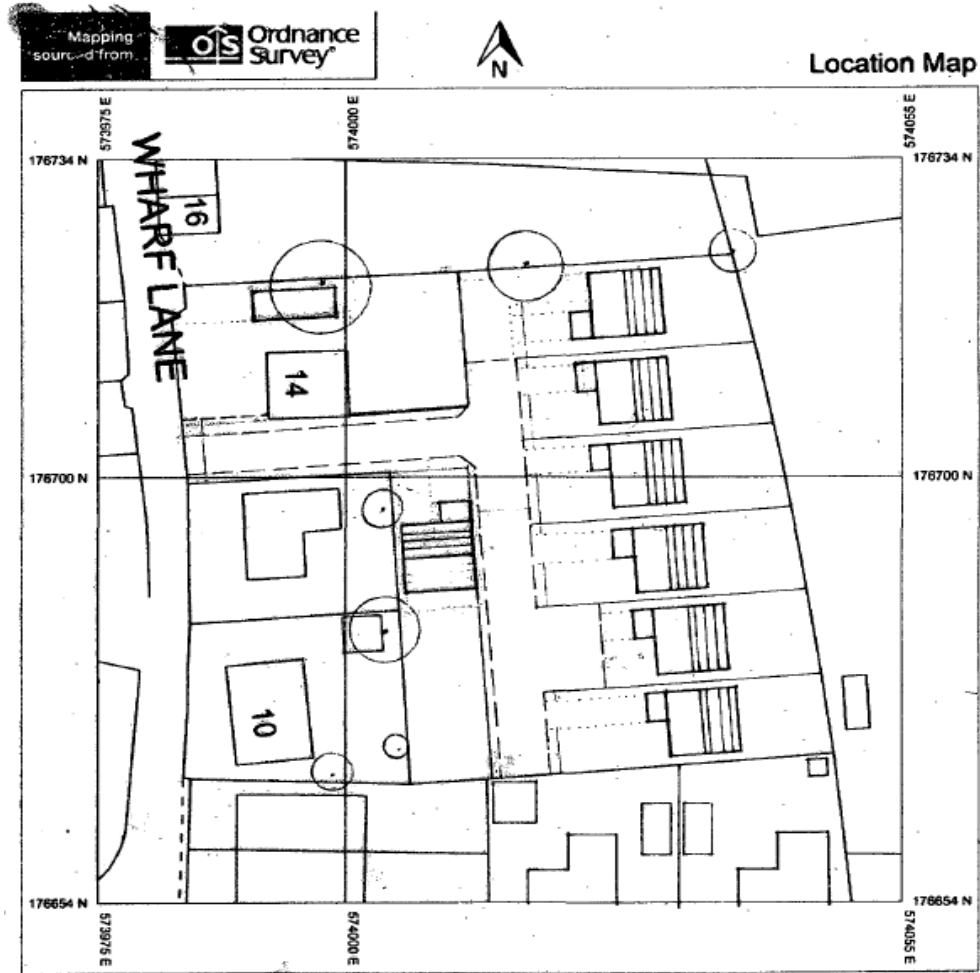
Two Detached Residential Properties
South of Application Site, accessed Off
Reed Street



View East - Open Countryside



Site Location Plan



Wharf Lane, Cliffe ME3 7UE

Produced 5/12/2014 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. © Crown Copyright 2014

Reproduction in whole or in part is prohibited without the prior permission of Ordnance Survey

Ordnance Survey and the OS Symbol are registered trademarks of Ordnance Survey, the national mapping agency of Great Britain

MC/14 /

DWG: REF 1626



Scale 1:500

MEDWAY

22 AUG 2014

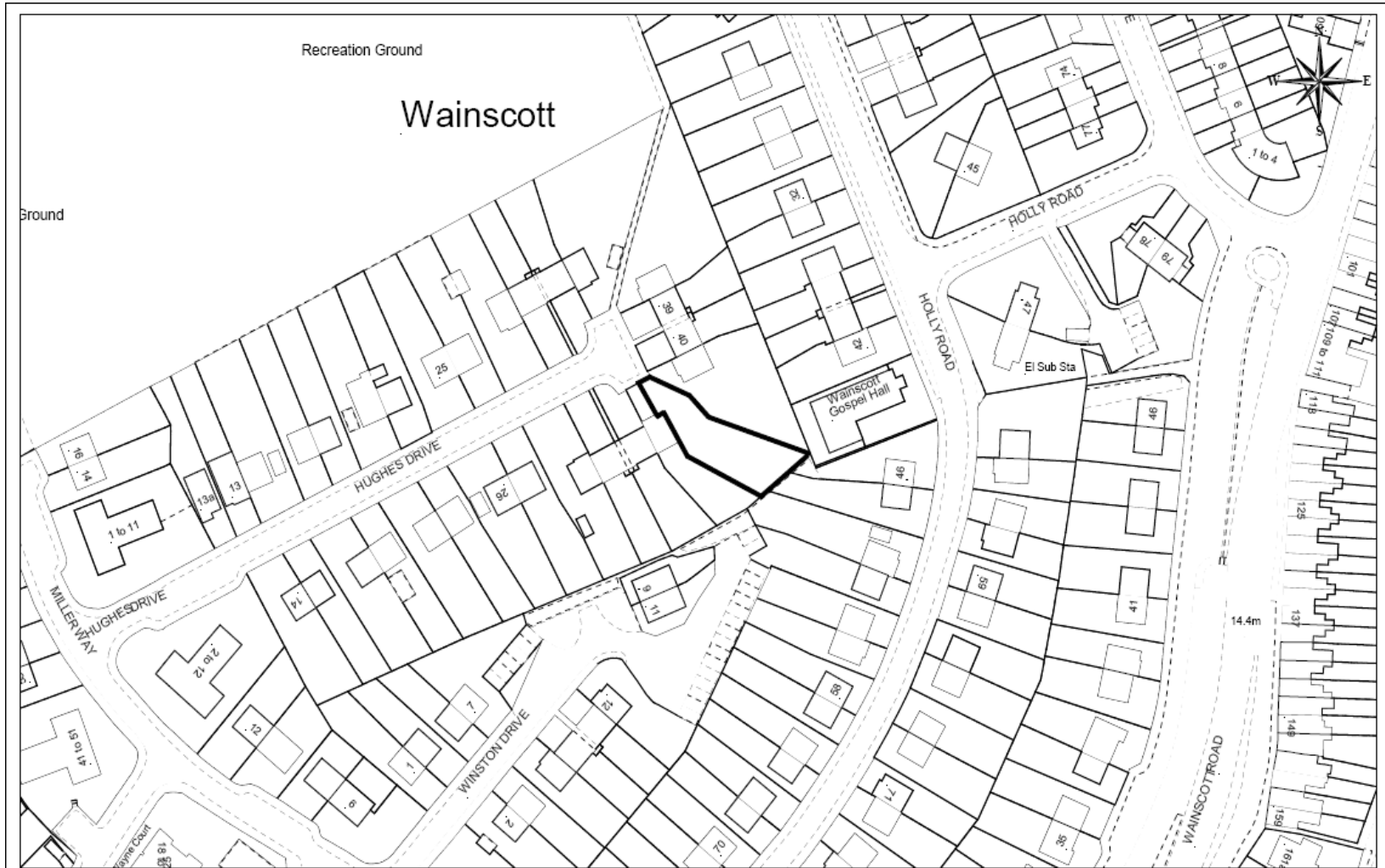
Tree Protection Plan



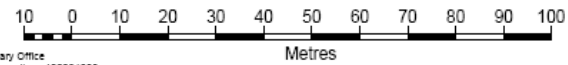
<p><i>SylvanArb</i> A Division of Arundell Landscape Architects</p> <p>138 East Road Cotton Bromley SE16 5EJ Tel: 0181 74231 E-mail: sylvanarb@arundell.co.uk Web: www.sylvanarb.co.uk</p>	<p>TREE PROTECTION PLAN</p> <p>(1:100) (Proposed Layout)</p>	<p>Site Address: 14 Wharf Lane C18E Kent ME3 7UE</p> <p>Client: Mr & Mrs Bush</p>	<p>By: C. Barkal</p> <p>Date: 21 August 2014</p> <p>Ref: WUTPP/27-02</p> <p>Scale: 1:400 @ A3</p>	<p>Key:</p> <ul style="list-style-type: none"> ● Category A Tree ● Category B Tree ● Category C Tree ● Category U Tree 	<ul style="list-style-type: none"> Retained Tree Canopy Proposed Tree Removal Root Protection Area 	<ul style="list-style-type: none"> Type 1: Tree Protection Fencing (See SylvanArb Appdx. B) Type 2: Tree Protection Fencing (See SylvanArb Appdx. B) Temporary Ground Protection (See SylvanArb Appdx. C)
--	---	---	---	---	--	---

MC/14/2447

36 Hughes Drive, Wainscott,
Rochester



MC/14/2447 36 Hughes Drive Wainscott Rochester ME2 4LN



This map is reproduced from/based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationary Office
© Crown copyright and/or database right, 2013. All rights reserved. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings 100024225.



Scale: 1:1250 21/10/14
© Medway Council, 2013

View Looking South-West Towards Junction With Miller Way



Application Site Adjacent to 36 Hughes Drive



Looking East



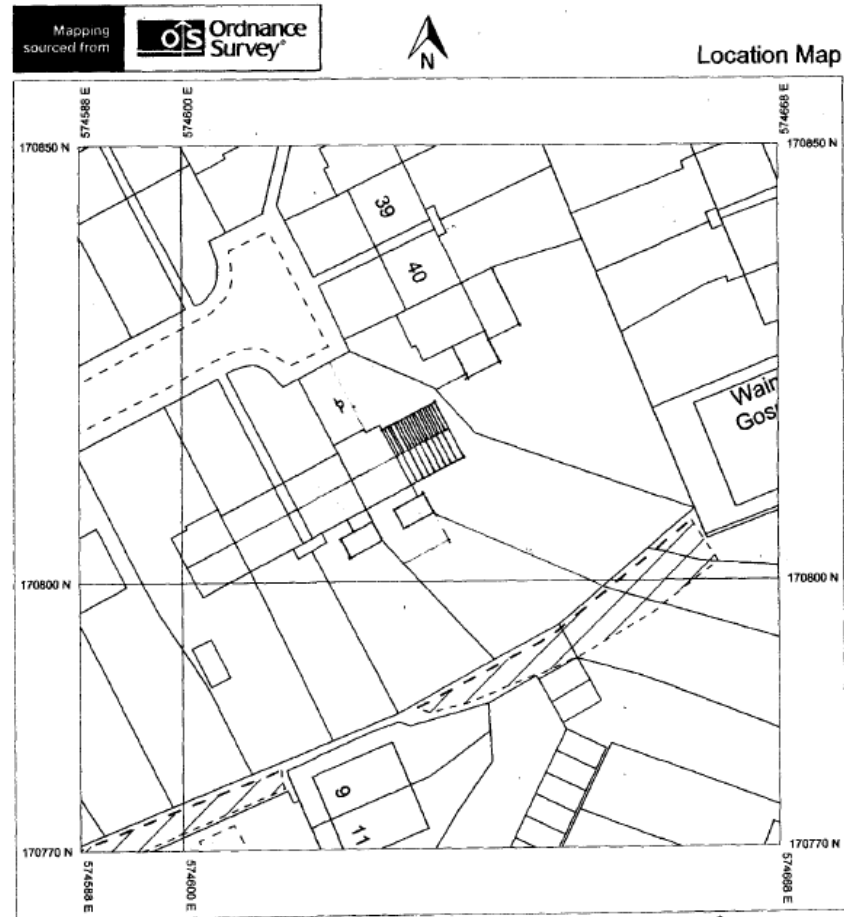
Northern Boundary and Properties to Rear of Holly Road



Looking North-West Towards Site Entrance



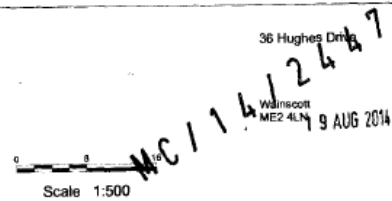
Site Plan (Proposed)



Produced 7/25/2014 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. © Crown Copyright 2014

Reproduction in whole or in part is prohibited without the prior permission of Ordnance Survey

Ordnance Survey and the OS Symbol are registered trademarks of Ordnance Survey, the national mapping authority of Great Britain

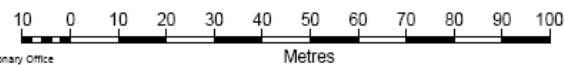


MC/14/1555

Land Adjacent 4 Berengrave Lane
Rainham



MC/14/1555 Land Adjacent to 4 Berengrave Lane Rainham ME8 7LS



This map is reproduced from/based upon Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationary Office
© Crown copyright and/or database right, 2013. All rights reserved. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings 100024225.



Scale: 1:1250 21/10/14
© Medway Council, 2013

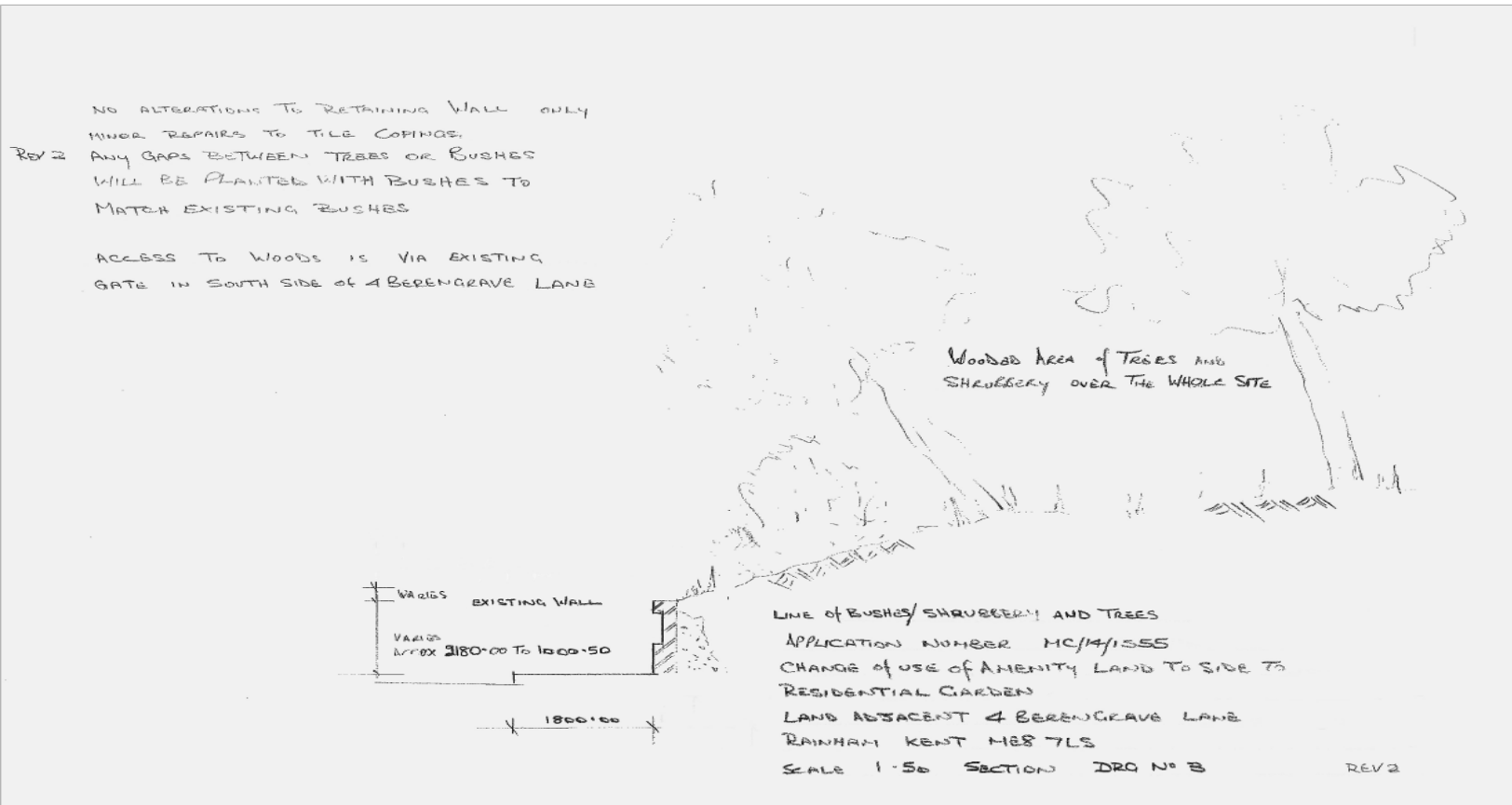
Looking South-east along Western Boundary of the Site



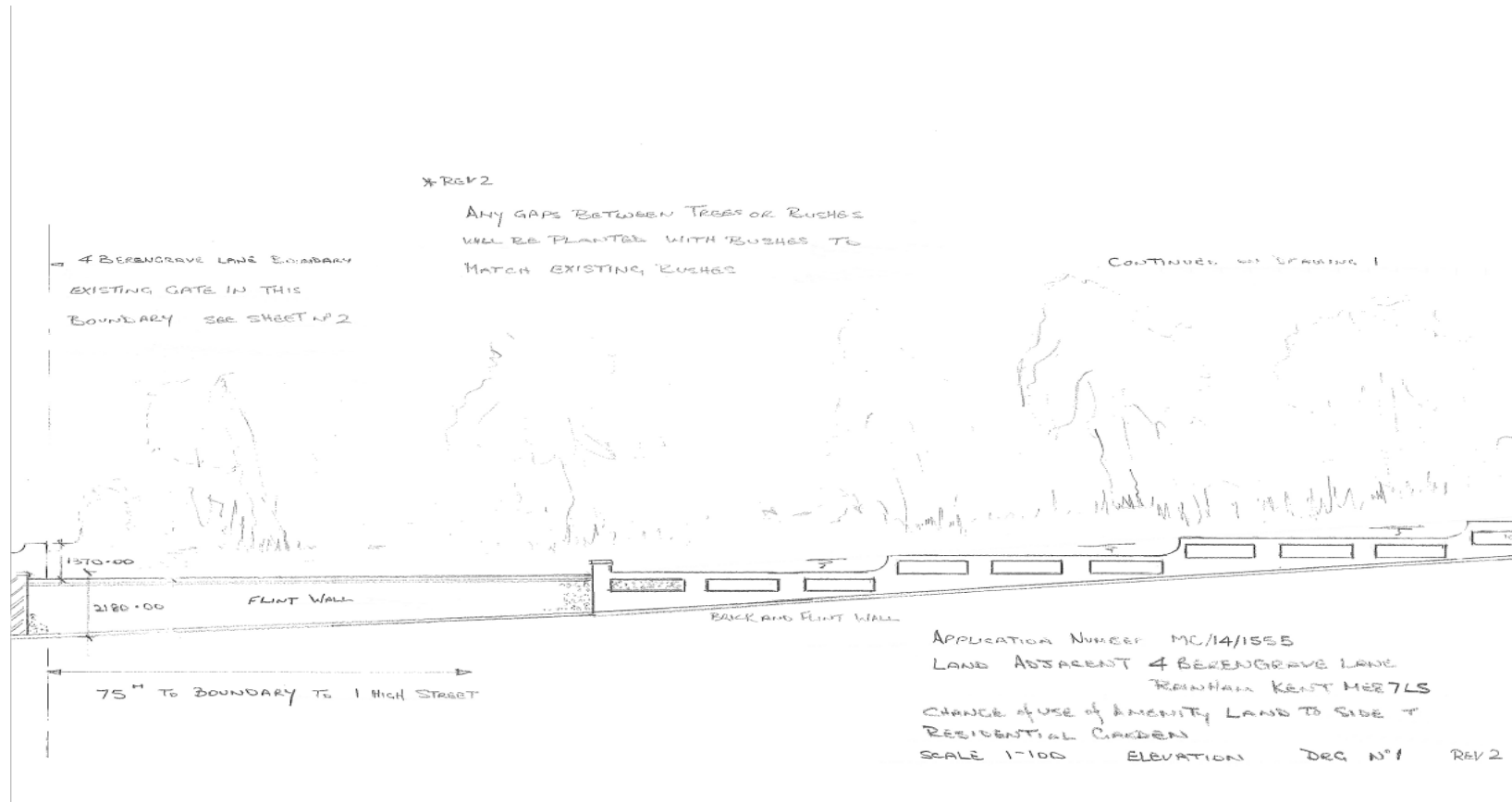
Looking in a Southerly Direction Berensgrave Lane



Existing Cross Section of the Boundary Wall



Elevation



Elevation (2)

