

Planning Committee – Supplementary agenda no.2

A meeting of the Planning Committee will be held on:

Date: 5 July 2023

Time: 6.30pm

Venue: Meeting Room 9 - Level 3, Gun Wharf, Dock Road, Chatham
ME4 4TR

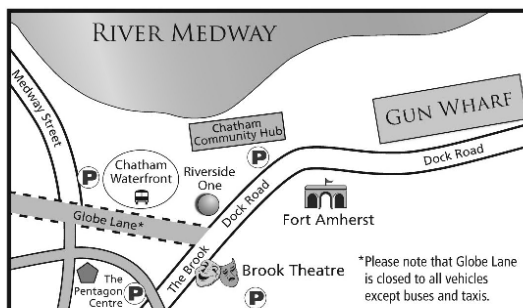
Items

15 Additional Information - Presentation

(Pages
3 - 90)

For further information please contact Julie Francis-Beard, Democratic Services Officer on Telephone: 01634 332012 or Email: democratic.services@medway.gov.uk

Date: 6 July 2023



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available on our website
www.medway.gov.uk

A summary of this information can be made available in other formats from **01634 333333**

Planning Committee

5th July 2023

MC/23/0321

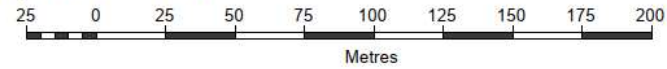
7 Eglinton Drive

Wainscott

Rochester



MC/23/0321 - 7 Eglinton Drive, Wainscott, Rochester



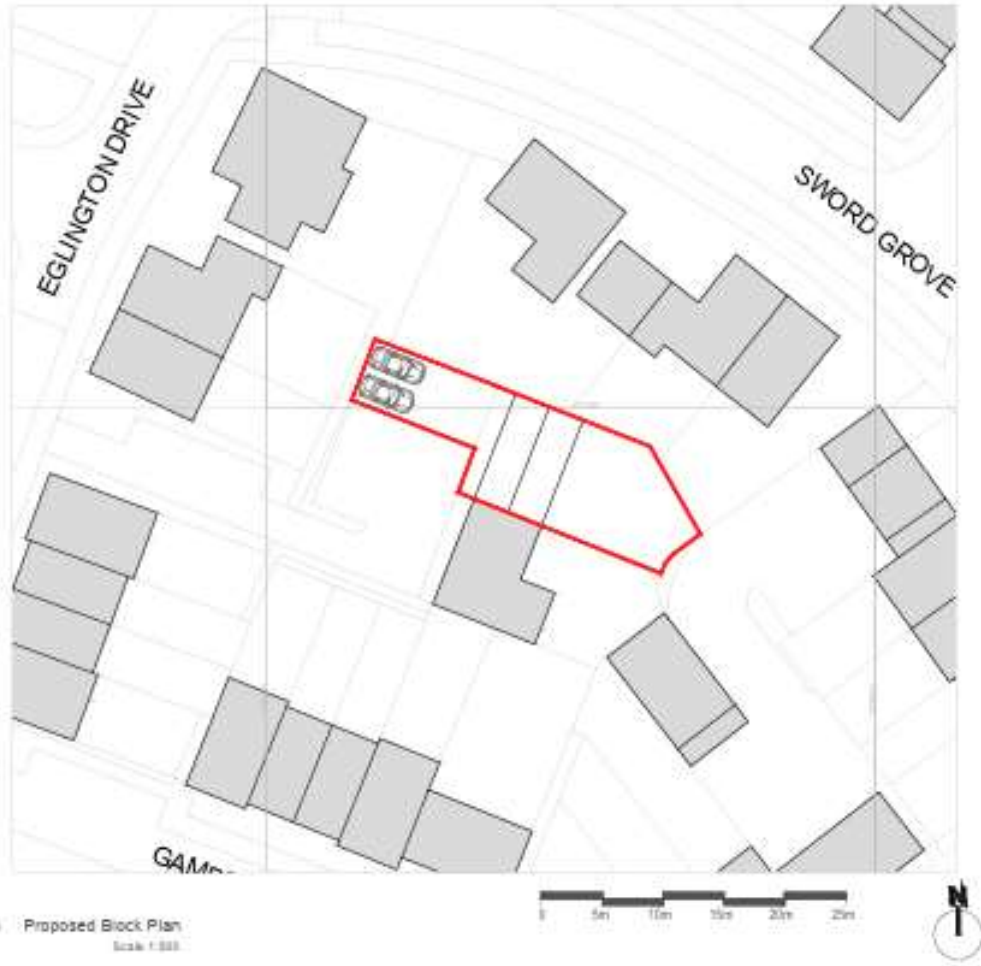
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Scale: 1:2500 23/05/23

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Site Location



03 Proposed Block Plan
Scale 1:500

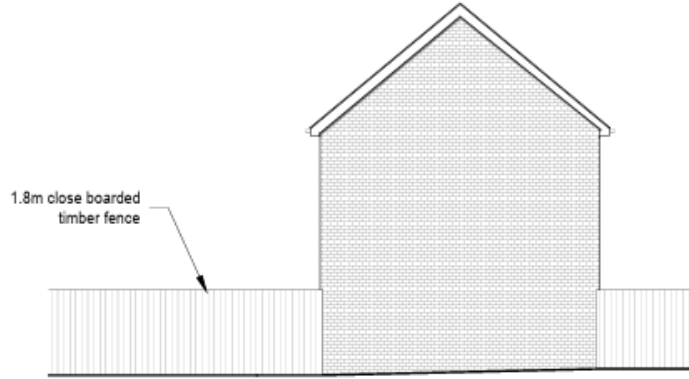
Site Photos



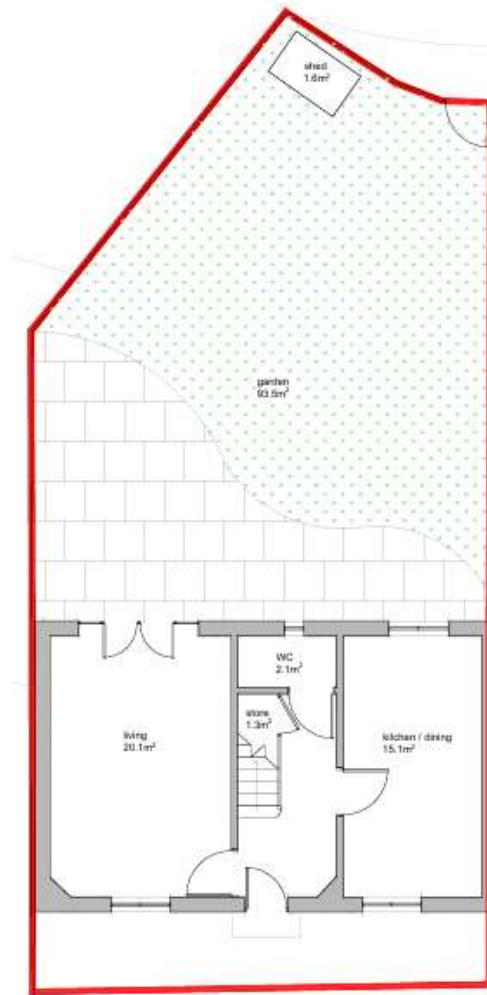
Existing Plans



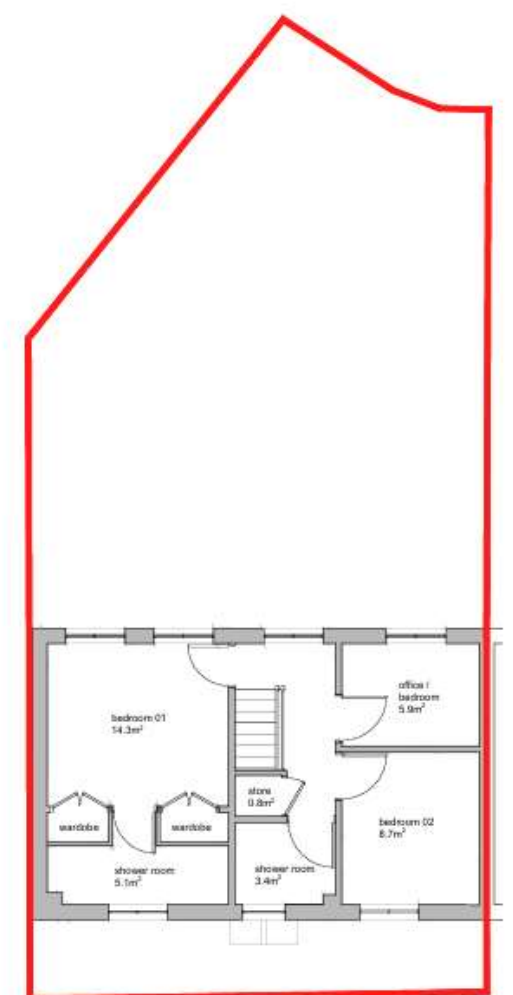
01 Existing West Elevation
Scale 1:100



03 Existing North Elevation
Scale 1:100



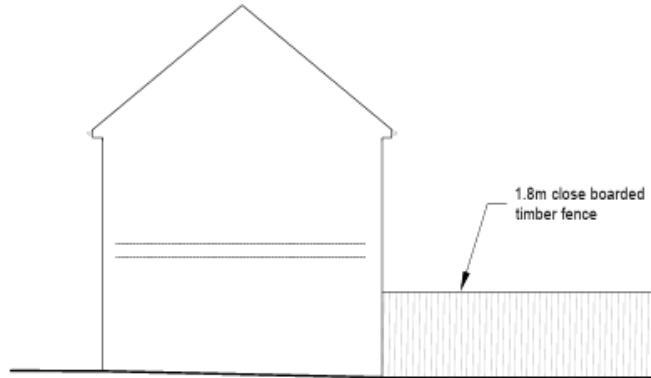
01 Existing Ground Floor Plan
Scale 1:100



02 Existing First Floor Plan
Scale 1:100



02 Existing East Elevation
Scale 1:100

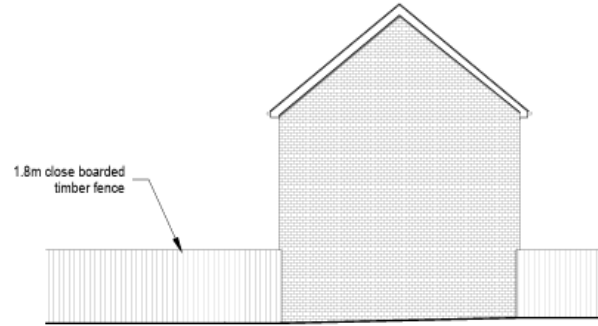


04 Existing South Elevation
Scale 1:100

Proposed Plans



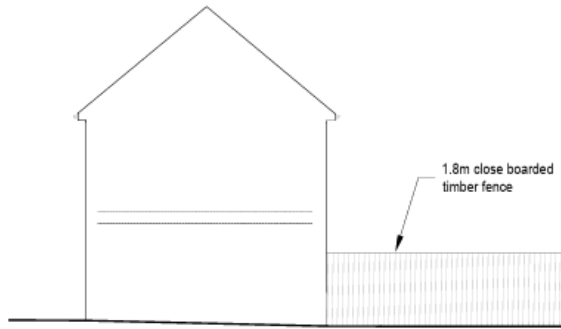
01 Proposed West Elevation
Scale 1:100



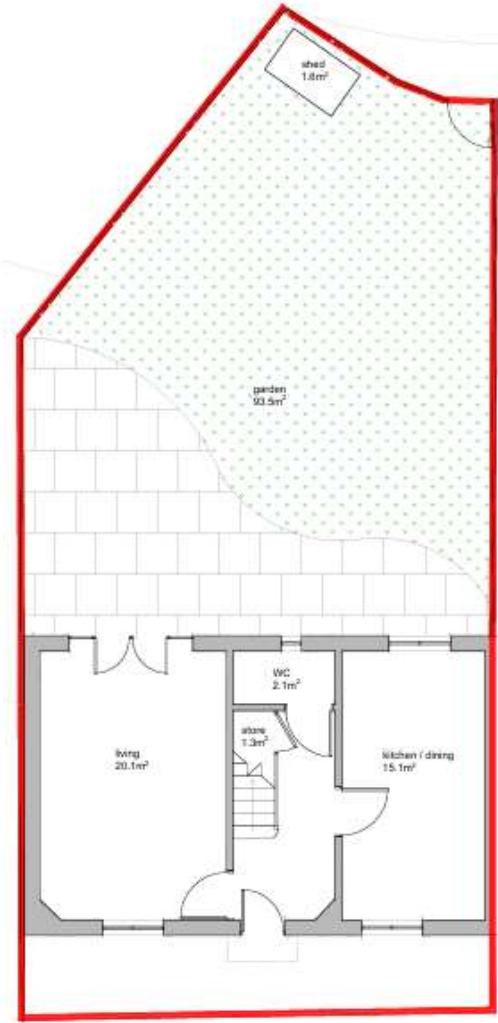
03 Proposed North Elevation
Scale 1:100



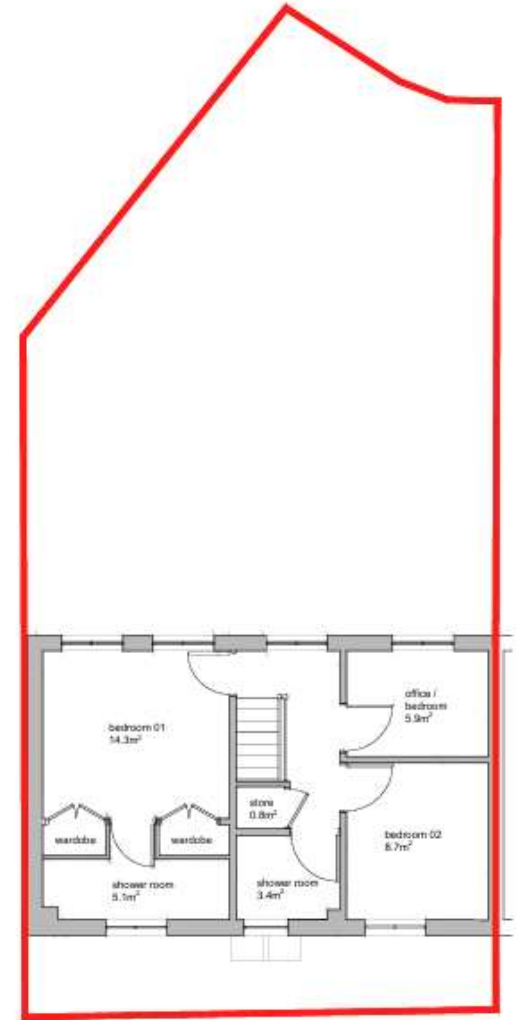
02 Proposed East Elevation
Scale 1:100



04 Proposed South Elevation
Scale 1:100



01 Proposed Ground Floor Plan
Scale 1:100



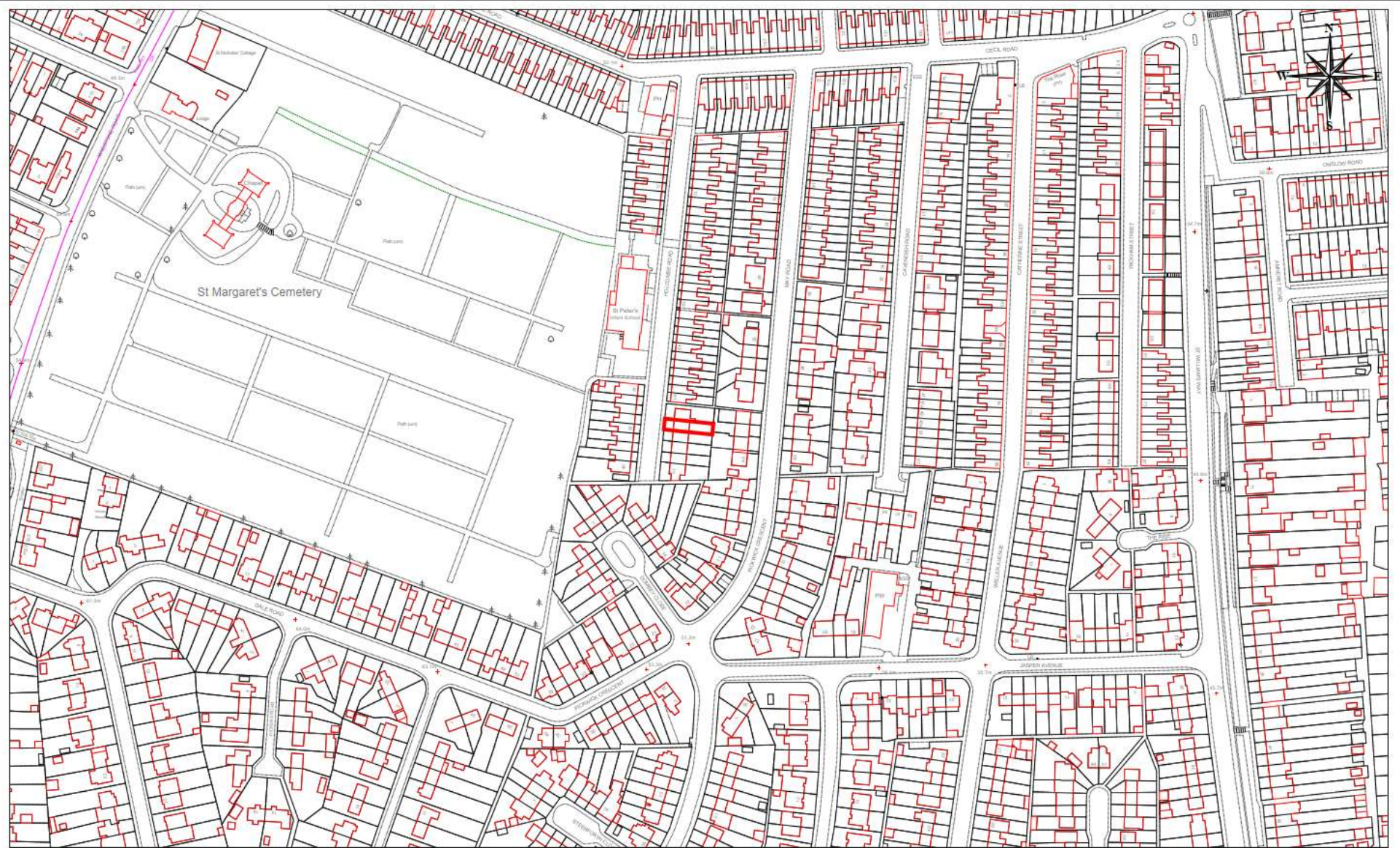
02 Proposed First Floor Plan
Scale 1:100

MC/23/0471

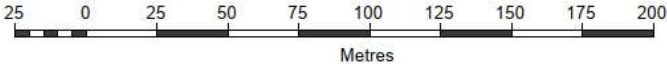
65 Holcombe Road

Rochester

ME1 2HX



MC/23/0471 - 65 Holcombe Road, Rochester, ME1 2HX



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Scale: 1:2500 24/05/23

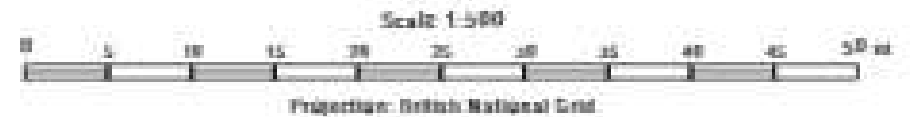
© Medway Council 2023

Aerial View and Proposed Block Plan

12



Proposed Block Plan Scale 1:500



Photos of the site

Application property



Application property

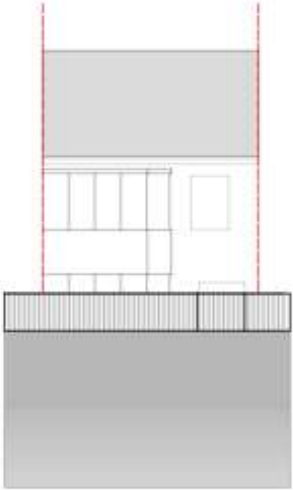


Application property

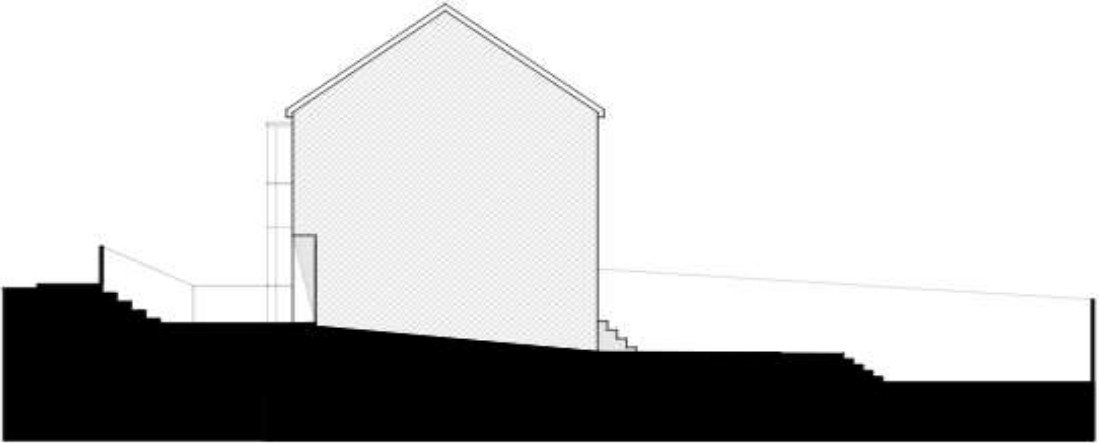


Existing and Proposed Elevations

14



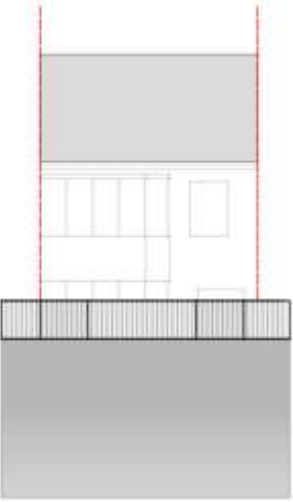
Existing Front Elevation



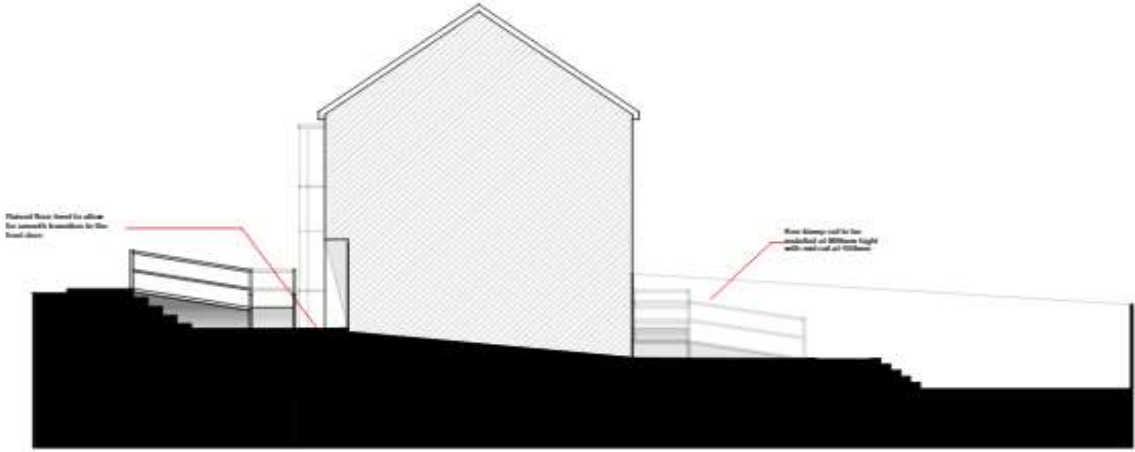
Existing Side Section



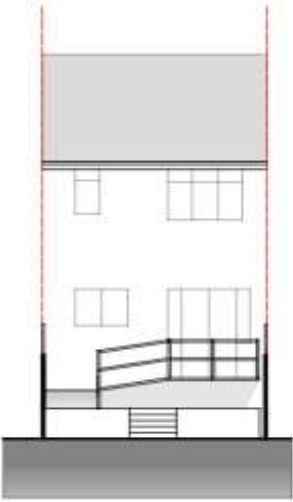
Existing Rear Elevation



Proposed Front Elevation

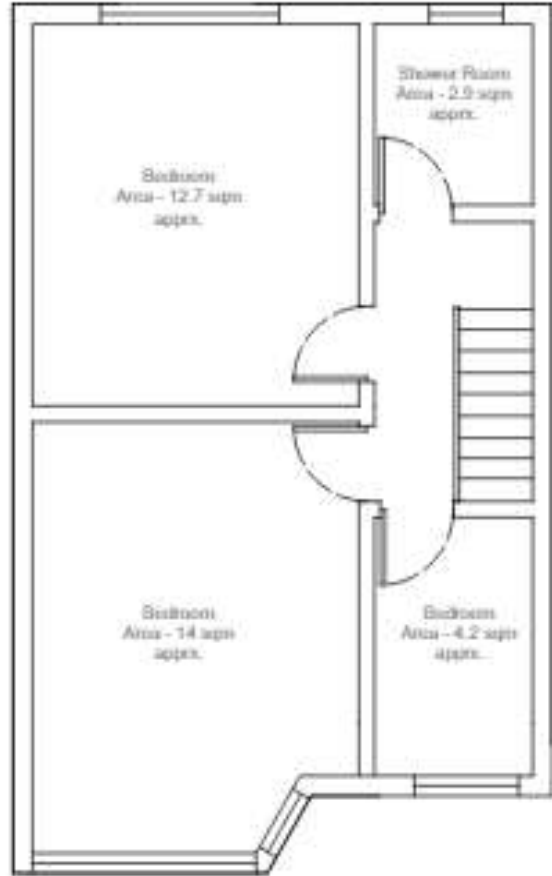


Proposed Side Section

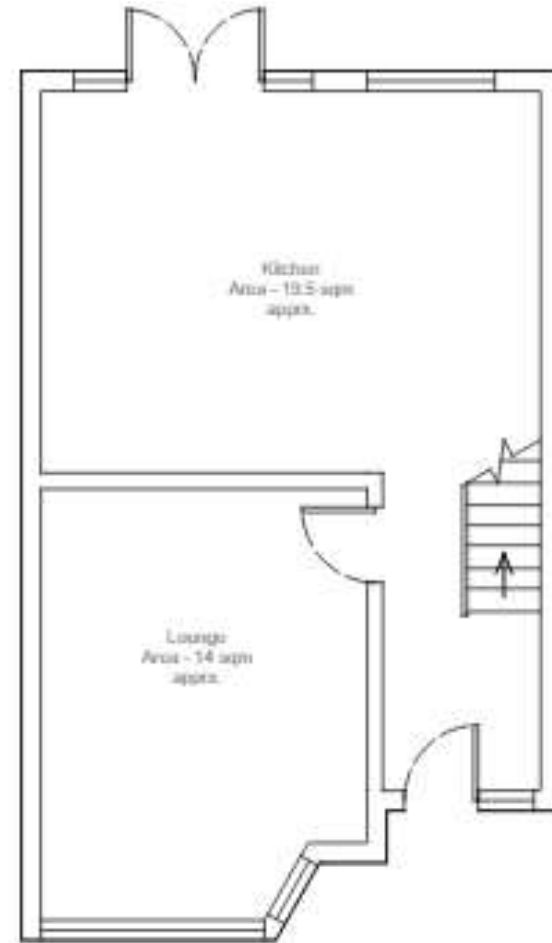


Proposed Rear Elevation

Existing and previously refused floor plans under MC/22/0593



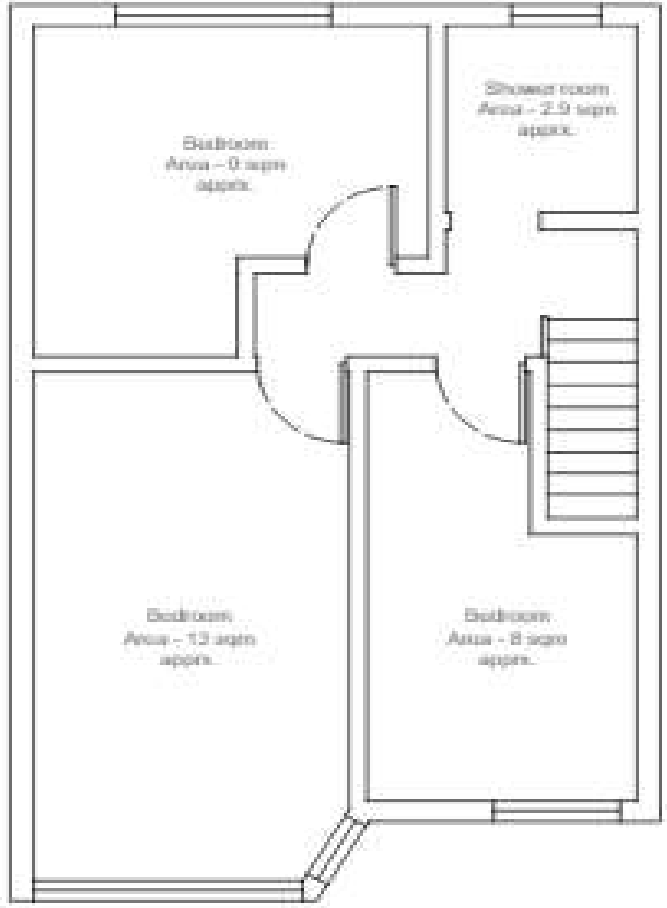
Existing First Floor Plan



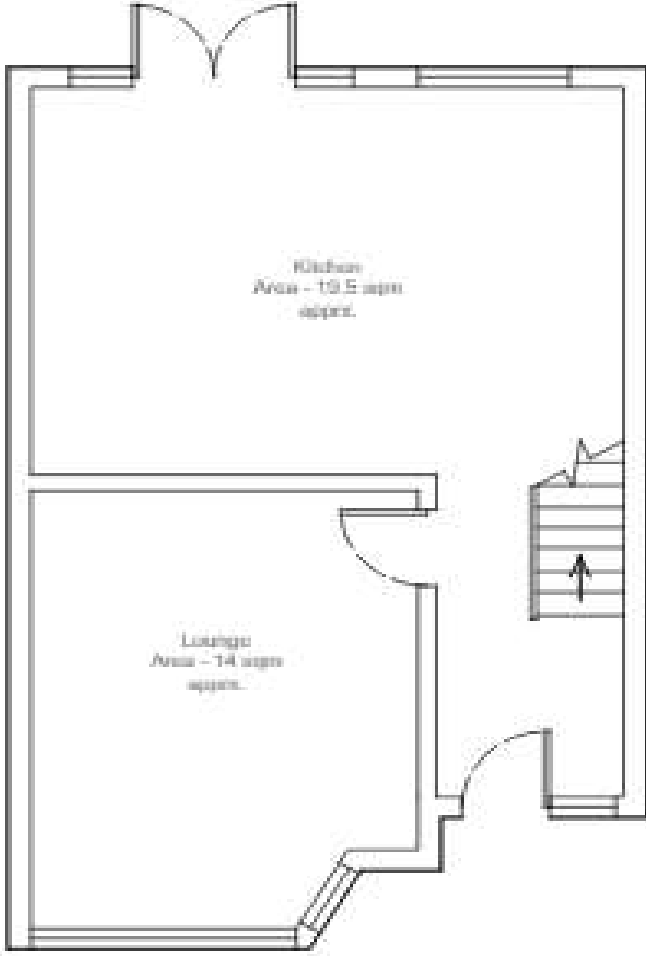
Existing Ground Floor Plan

Proposed Floor Plans

16



Proposed First Floor Plan



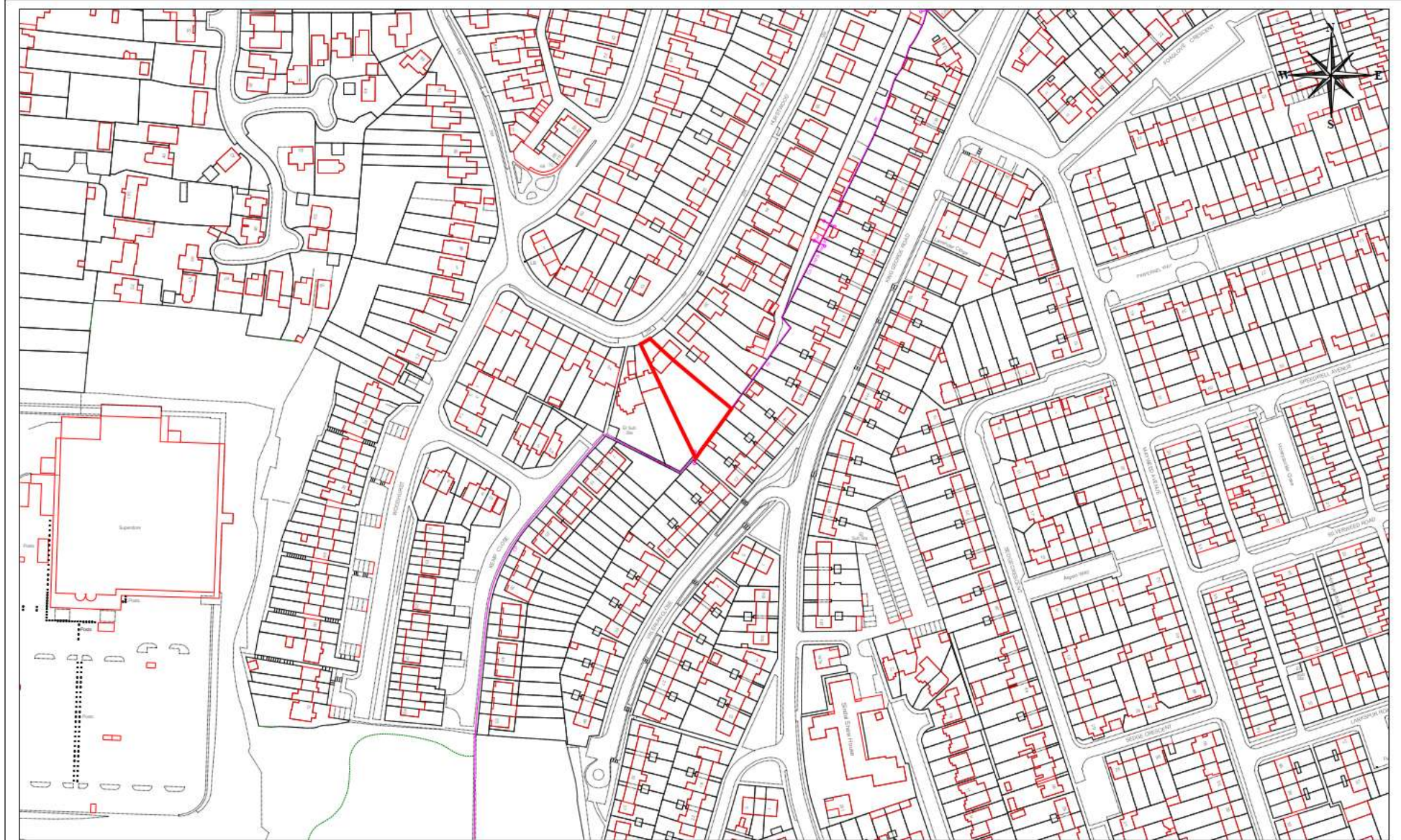
Proposed Ground Floor Plan

MC/23/0479

22 Hurstwood

Horsted

Chatham



MC/23/0479 - 22 Hurstwood, Horsted, Chatham



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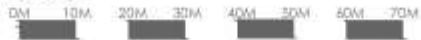
Medway
COUNCIL
Serving You
Scale: 1:2500 24/05/23
© Medway Council 2023

Site Location



SITE LOCATION PLAN

1:1250(A3)



Site Photos

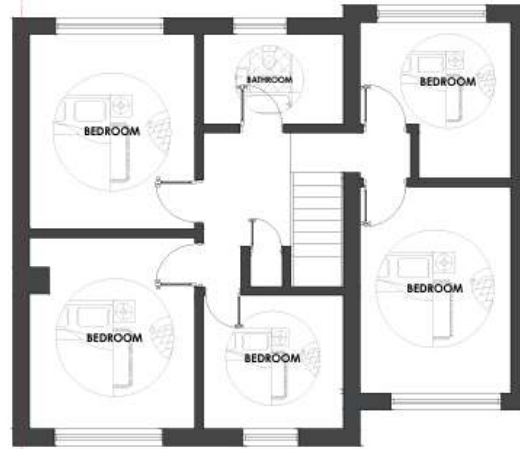


Site Photos



Existing Plans

22



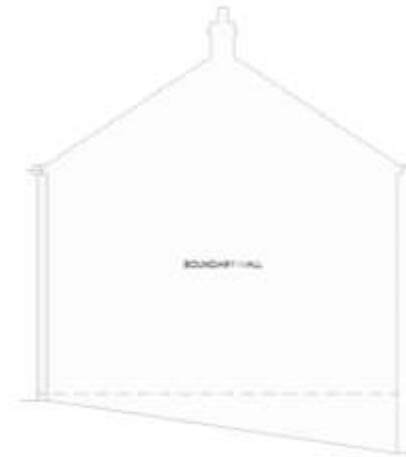
EXISTING FIRST FLOOR PLAN
1:100



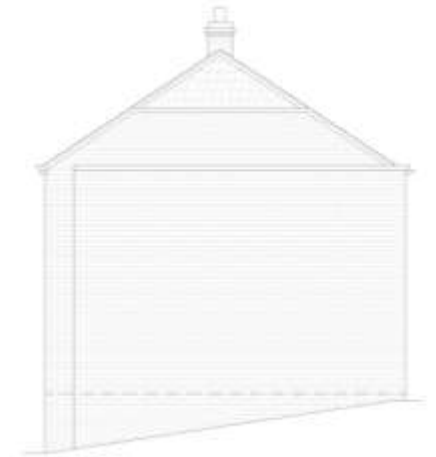
EXISTING FRONT ELEVATION
1:100



EXISTING REAR ELEVATION
1:100



EXISTING SIDE ELEVATION
1:100



EXISTING SIDE ELEVATION
1:100

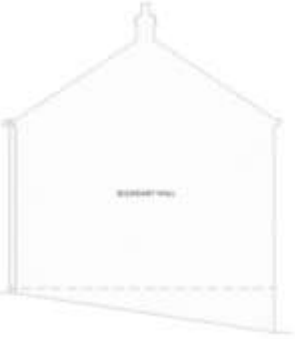
Proposed Plans



PROPOSED FRONT ELEVATION
1:100



PROPOSED REAR ELEVATION
1:100



PROPOSED SIDE ELEVATION
1:100



PROPOSED SIDE ELEVATION
1:100



PROPOSED GROUND FLOOR PLAN
1:100



PROPOSED FIRST FLOOR PLAN
1:100

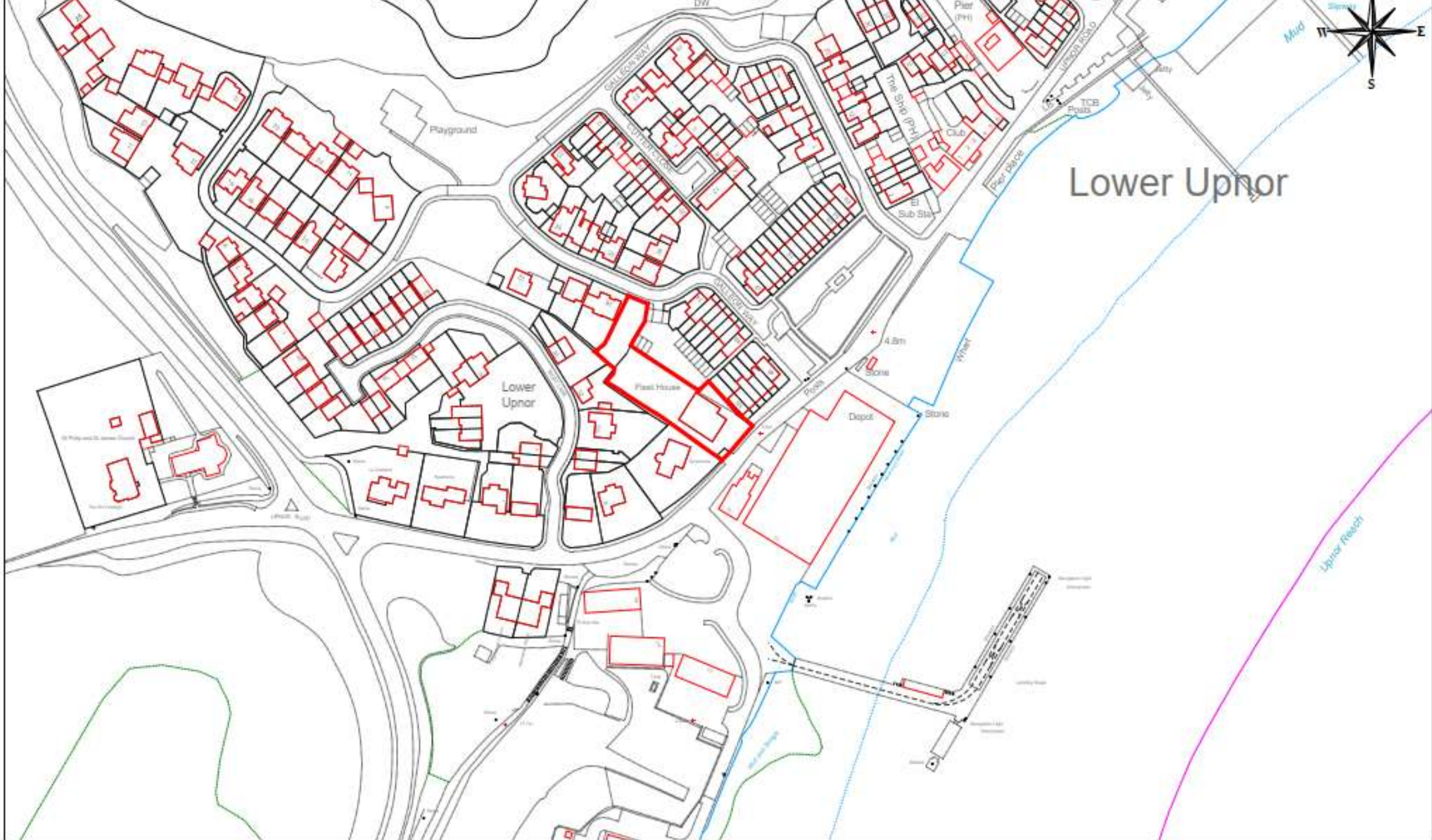
MC/22/2813

Fleet House

Upnor Road

Rochester

ME2 4UP



MC/22/2813 – Fleet House



Upnor Road
entrance





Demolished building on site – known as Fleet House





Galleon Way frontage and views of site from parking court



MC/22/2813 – roof plan of proposed scheme

30



35

26

46

48

58

30

32

32a

5.5m

Posts

UPNOR ROAD

Tank

Depot

Lower

Showing closest distances between points at 32 and 32a Moat Lane with application site.



MC/17/2272 – roof plan of previously approved scheme

32



MC/22/2813

Front elevation on Upnor Rd – showing flats

Side elevation showing flats and semi-detached pair



MC/22/2813

Rear and side elevation of flats and semi-detached pair



north west



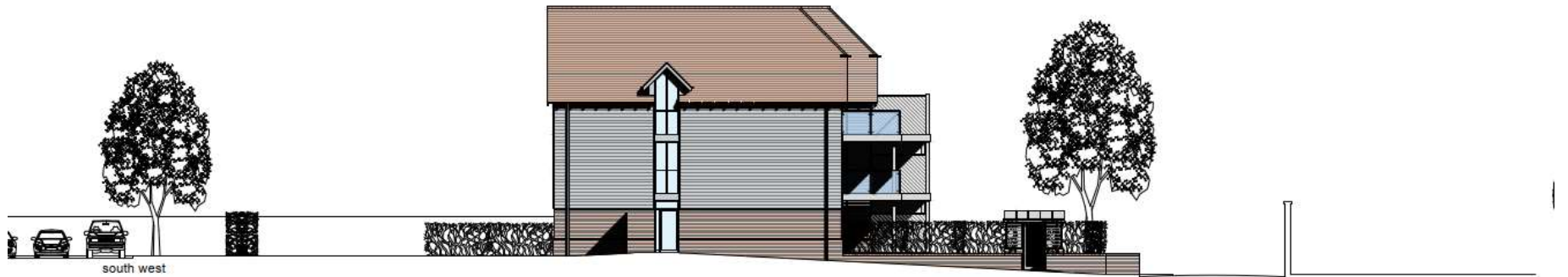
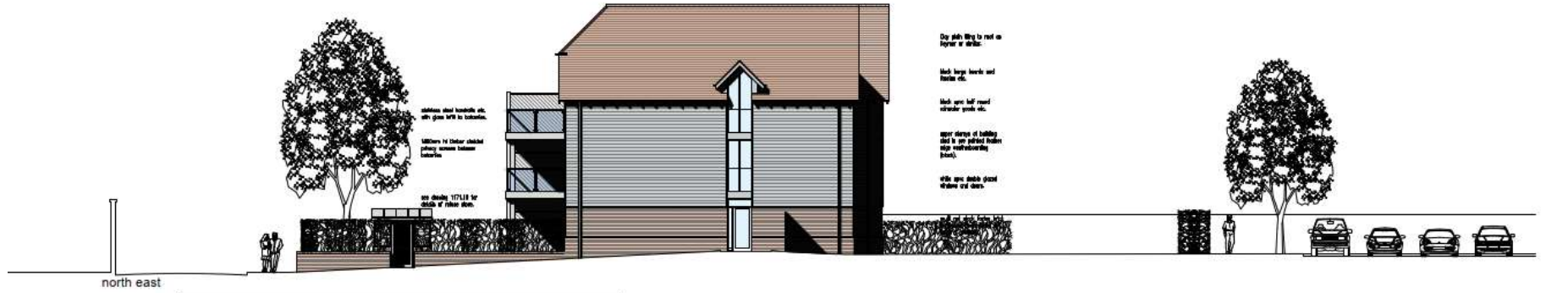
north east

north

PREVIOUS APPROVED
SCHEME

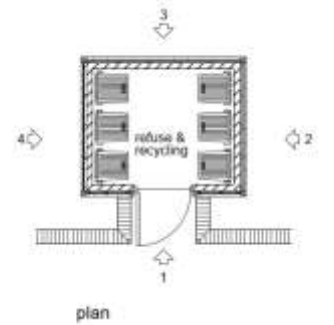
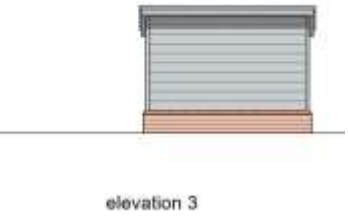
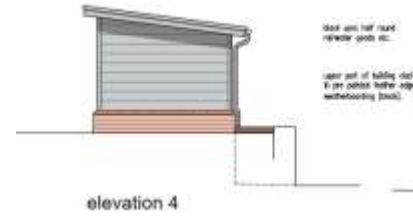
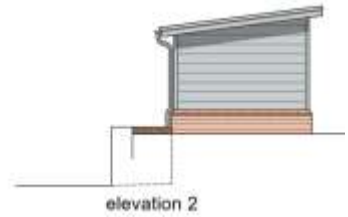
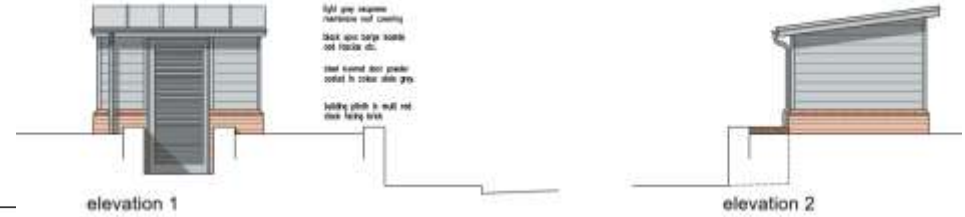
MC/17/2272

Elevations of flats

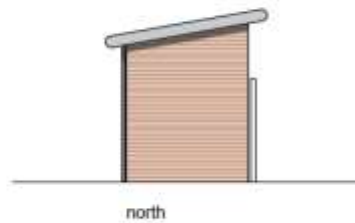
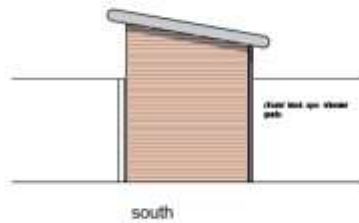




Refuse storage elevations and plan



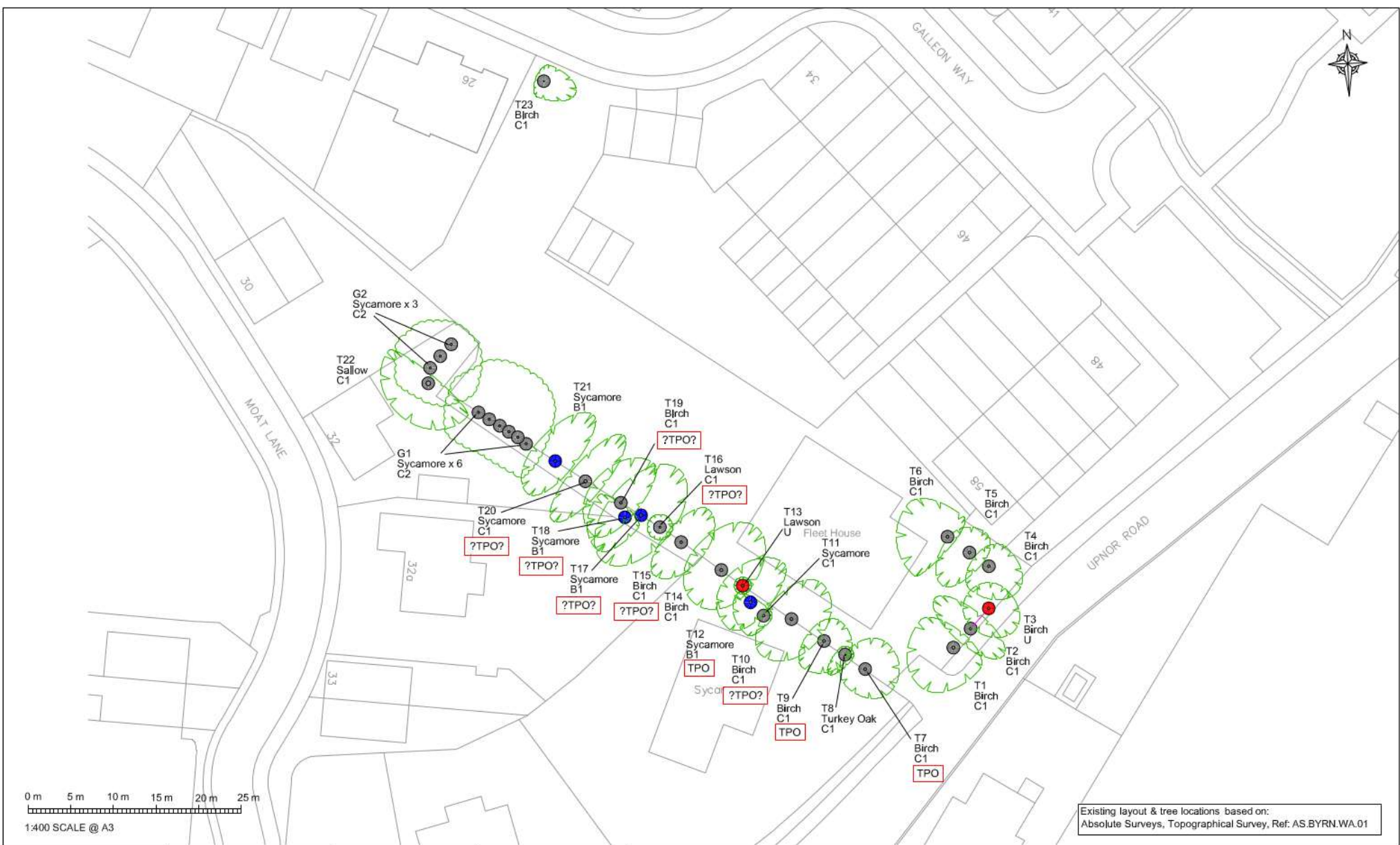
Cycle storage elevations and plan



MC/22/2813

Detached House fronting Galleon Way





Sylvanarb
Arboriculture, Conservation

139 Bush Road
Cuxton
Rochester
Kent
ME2 1EZ

Tel: 01634 724023
E-mail: info@sylvanarb.co.uk
Web: www.sylvanarb.co.uk

TREE SURVEY PLAN
(Existing Layout)

Site Address:
Fleet House
Upnor Road
Lower Upnor
Kent
Client:
Ashbyrne Developments

By: C. Barkel
Date: 31 October 2022
Ref: FH/TSP/2054-01
Client:
Scale: 1:400 @ A3

- Key:
- Category A Tree (High Value)
 - Category B Tree (Moderate Value)
 - Category C Tree (Low Value)
 - Category U Tree (Poor Condition)

- Key:
- Tree Canopy
 - 1 Tree Number
 - Oak Tree Species
 - A1 Retention Category



NOTE:
 Retained trees are not shown to clarify required removals.
 Refer to Tree Protection Plan for details of retained trees.

Existing layout & tree locations based on:
 Absolute Surveys, Topographical Survey, Ref: AS.BYRN.WA.01

Proposed layout based on:
 Ian Mutch, Proposed Site Plan, Ref: 1012-21 B

Sylvanarb
 Arboriculture & Conservation

139 Bush Road
 Cuxton
 Rochester
 Kent
 ME2 1EZ

Tel: 01634 724023
 E-mail: info@sylvanarb.co.uk
 Web: www.sylvanarb.co.uk

**TREE
 REMOVAL
 PLAN**

(Existing / Proposed Layout)

Site Address:
 Fleet House
 Upnor Road
 Lower Upnor
 Kent

Client:
 Ashbyrne Developments

By: C. Barkel

Date: 31 October 2022

Ref: FH/TRP/2054-02

Scale: 1:400 @ A3

Key:

- Category A Tree (High Value)
- Category B Tree (Moderate Value)
- Category C Tree (Low Value)
- Category U Tree (Poor Condition)
- Proposed Tree Removal
- Root Protection Area



MC/22/1078

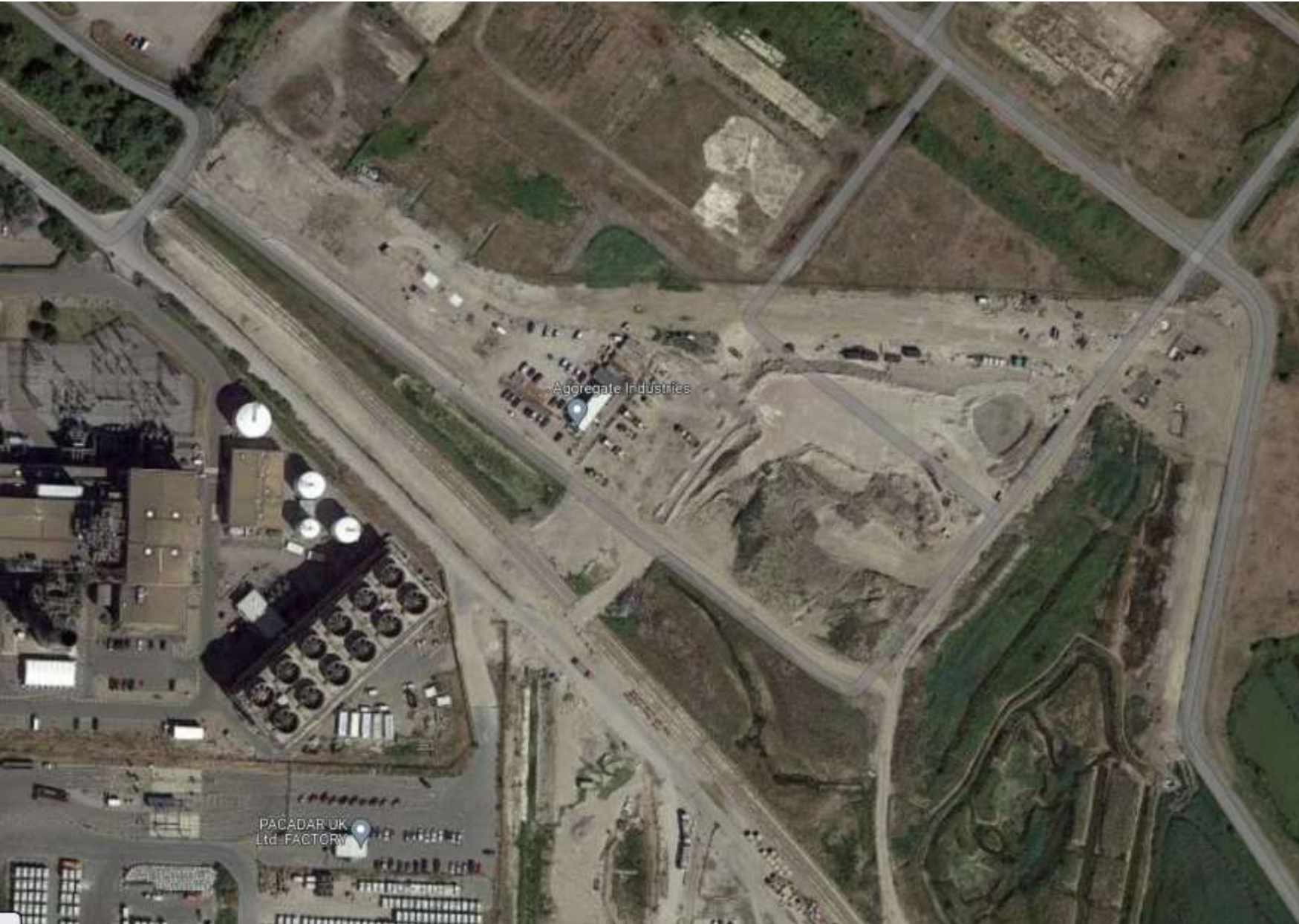
London Thamesport
Grain Rd, Isle of Grain
ME3 0AE



Aerial Photo



Zoomed in



Site
looking
East



Site
looking
North



16/06/2022

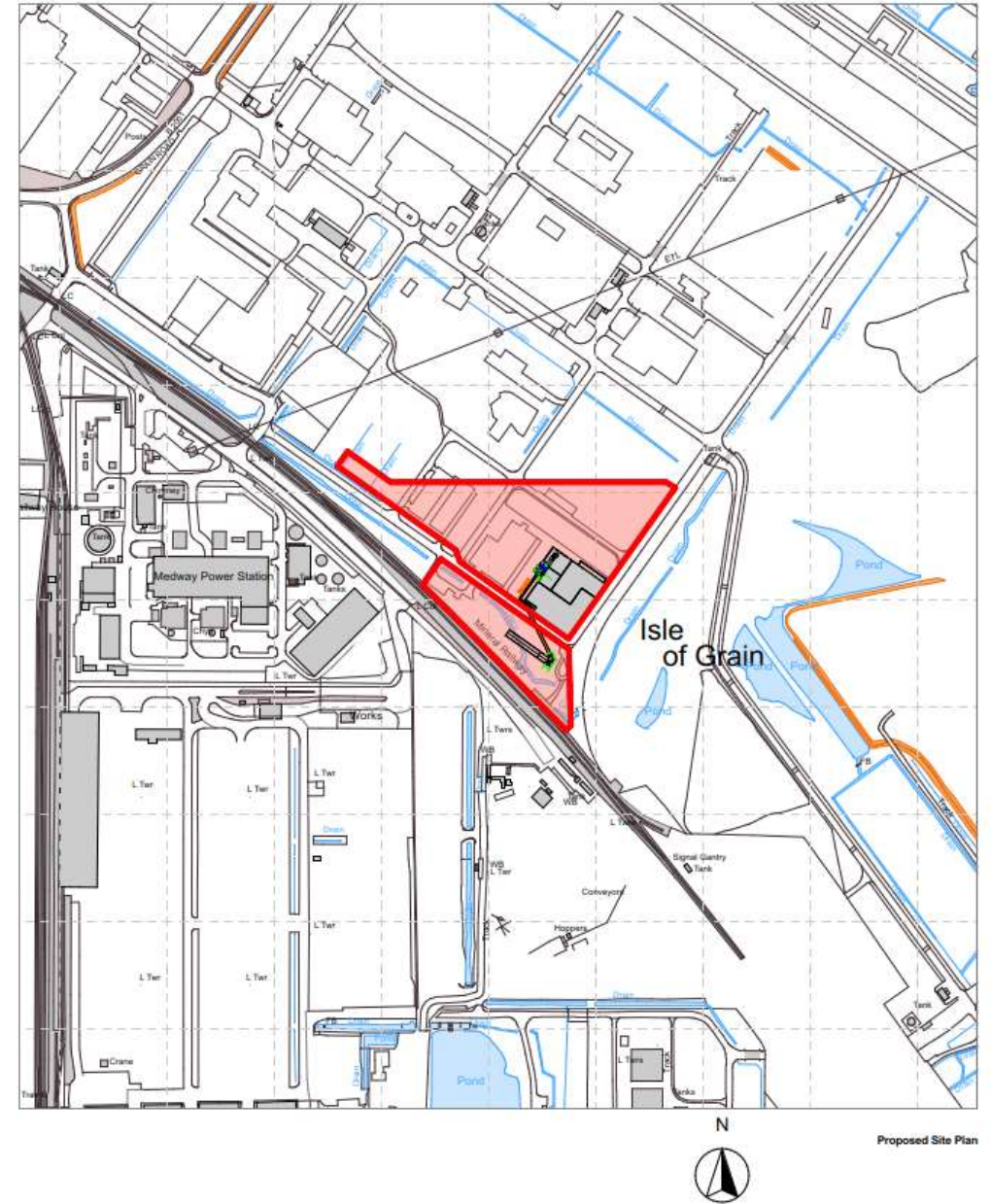
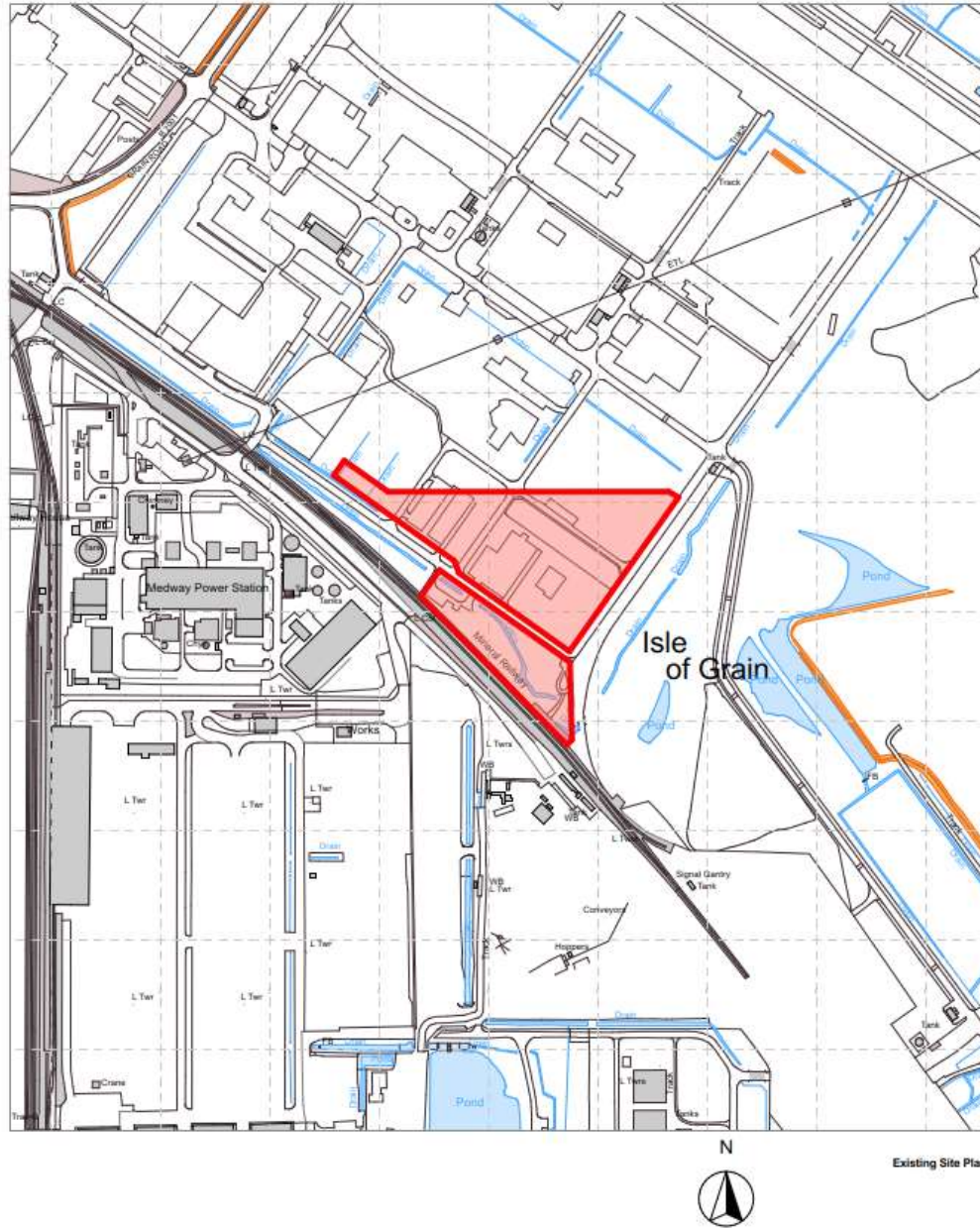
Site
looking
South



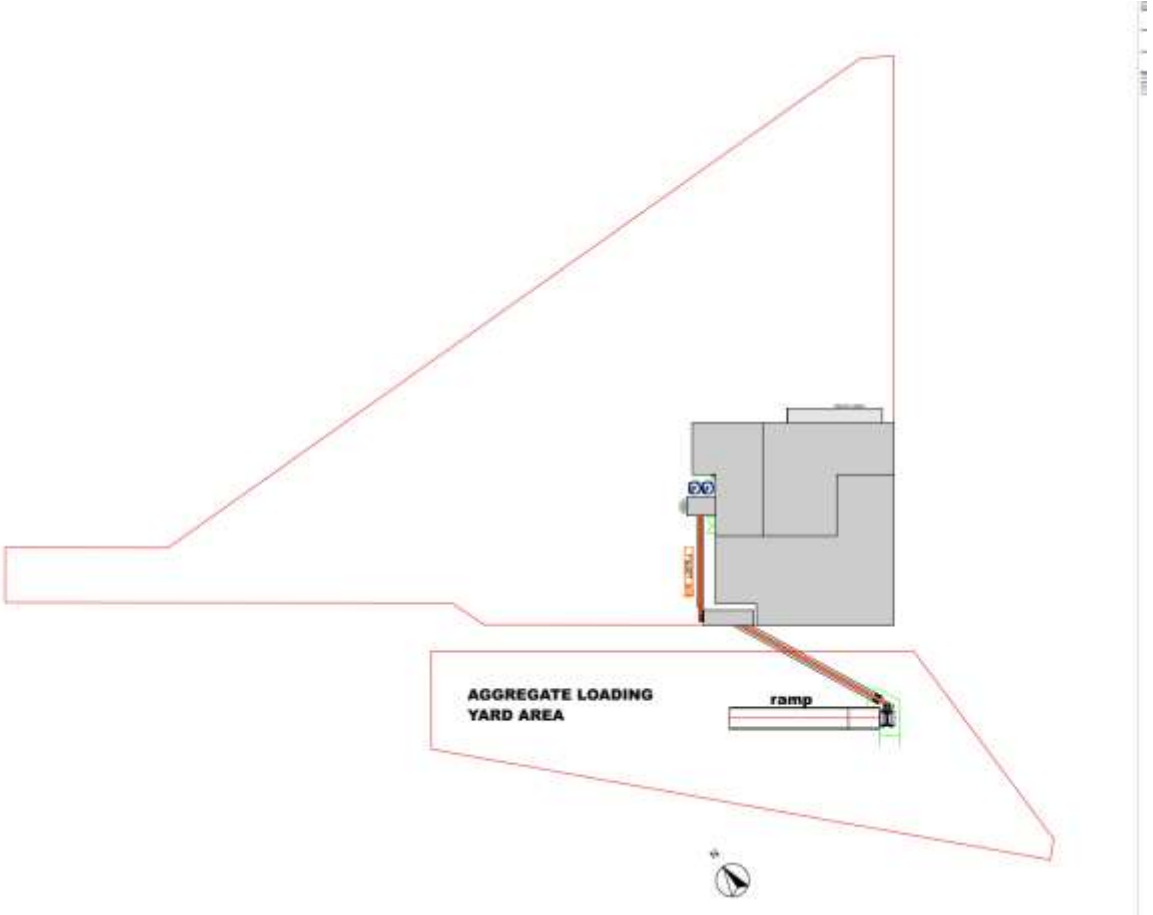
Site from B2001



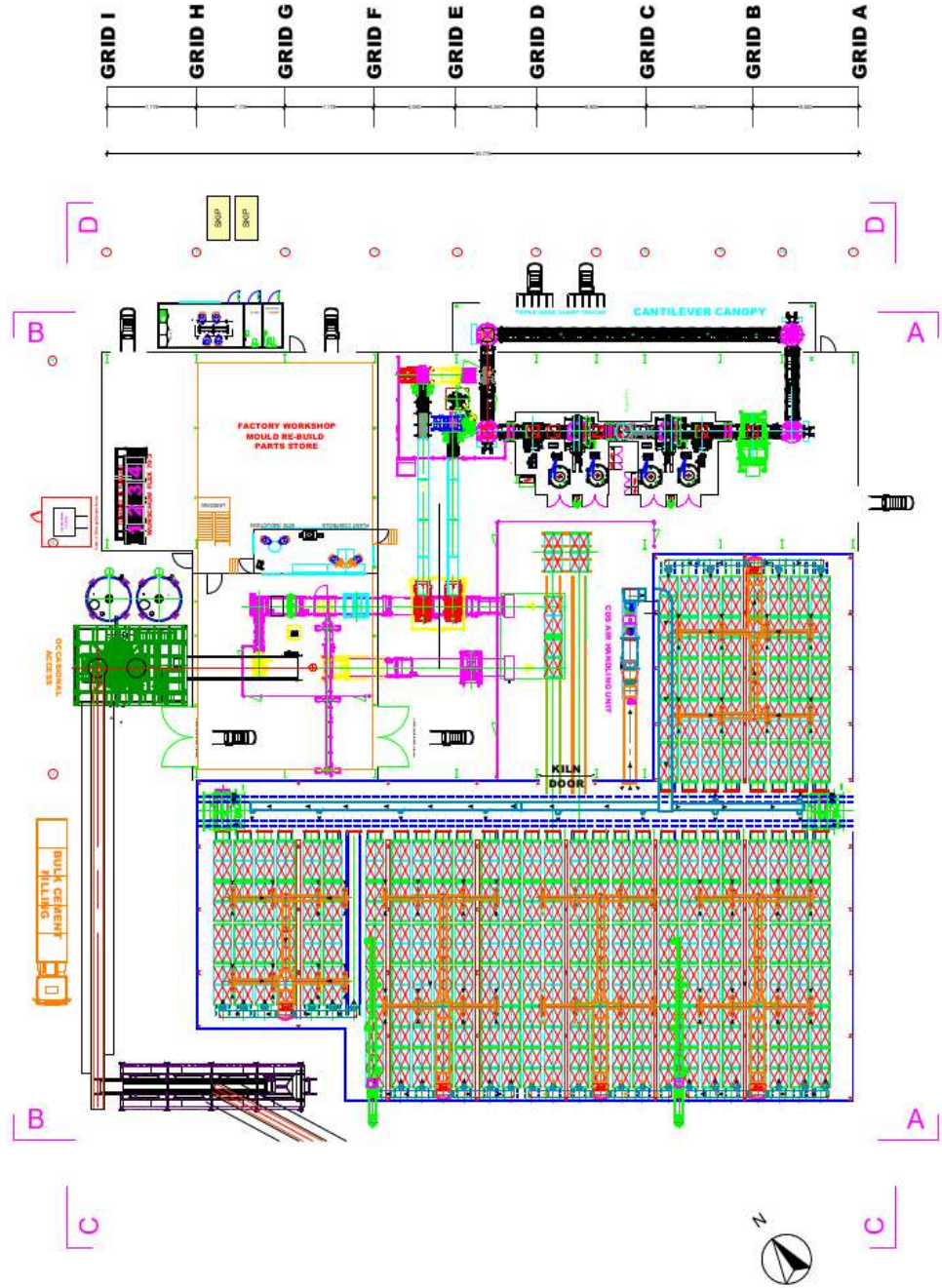
Existing and Proposed Site Plan



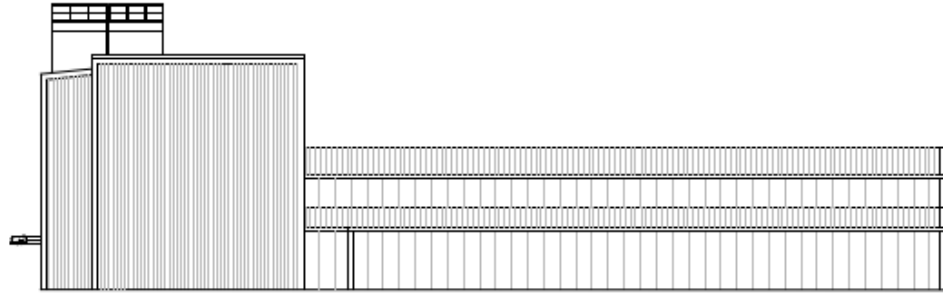
Block Plan



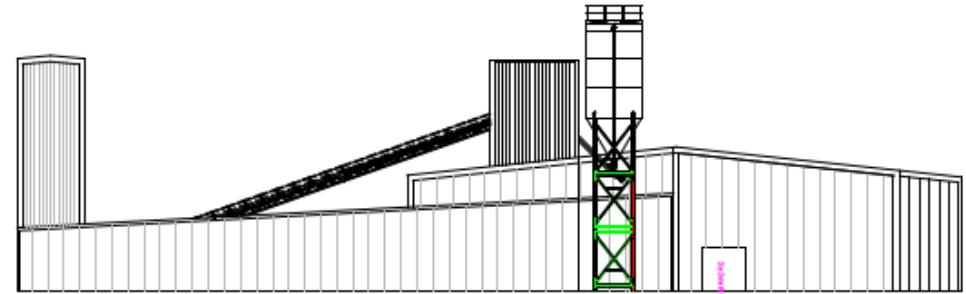
Floor Plan



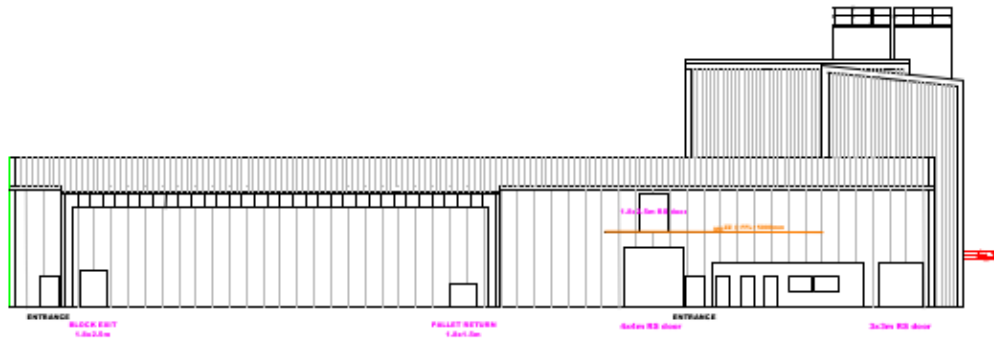
Elevations



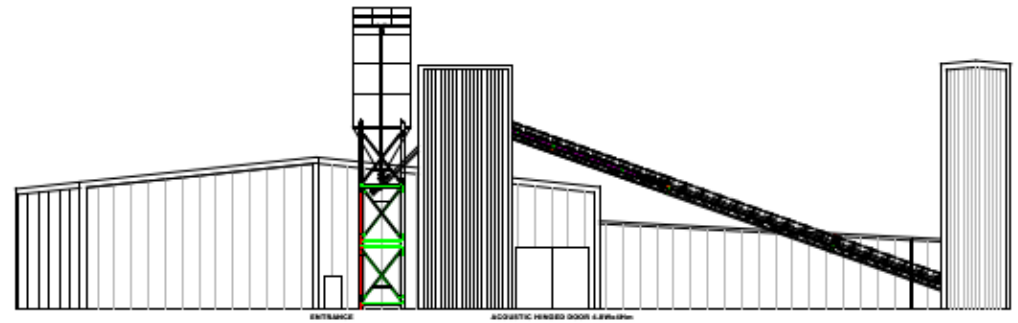
View on C-C



View on A-A



View on D-D



View on B-B

MC/23/0068

18 Broom Hill Road and Land to the Rear

Strood, Rochester

ME2 3LE



MC/23/0068 - 18 Broom Hill Road and Land To Rear, Strood, ME2 3LE

25 0 25 50 75 100 125 150 175 200



Green Boundaries along Broom Hill

56



Green space and Garages on Pepys Way



Photo of site from the access

58



Photos from on top of the quarry from Pepys Way



Outline Layout as approved



Proposed site plan - Scale 1:200

Legend

- Proposed site
- Garden
- Existing building footprint
- Existing building

200

- 1:1 Scale (approximate)
- 1:1 Scale (approximate)
- 1:1 Scale (approximate)

300

- 1:1 Scale (approximate)
- 1:1 Scale (approximate)

400

- 1:1 Scale (approximate)
- 1:1 Scale (approximate)

Location Plans
Scale 1:1250

Rev	Description	Date
01	Issue 1 (existing grounds and site plan)	11.08.2011
02	Issue 2 (existing grounds and site plan)	09.09.2011
03	Issue 3 (existing grounds and site plan)	07.10.2011
04	Issue 4 (existing grounds and site plan)	07.10.2011
05	Issue 5 (existing grounds and site plan)	07.10.2011
06	Issue 6 (existing grounds and site plan)	07.10.2011
07	Issue 7 (existing grounds and site plan)	07.10.2011
08	Issue 8 (existing grounds and site plan)	07.10.2011
09	Issue 9 (existing grounds and site plan)	07.10.2011
10	Issue 10 (existing grounds and site plan)	07.10.2011
11	Issue 11 (existing grounds and site plan)	07.10.2011
12	Issue 12 (existing grounds and site plan)	07.10.2011
13	Issue 13 (existing grounds and site plan)	07.10.2011
14	Issue 14 (existing grounds and site plan)	07.10.2011
15	Issue 15 (existing grounds and site plan)	07.10.2011
16	Issue 16 (existing grounds and site plan)	07.10.2011
17	Issue 17 (existing grounds and site plan)	07.10.2011
18	Issue 18 (existing grounds and site plan)	07.10.2011
19	Issue 19 (existing grounds and site plan)	07.10.2011
20	Issue 20 (existing grounds and site plan)	07.10.2011
21	Issue 21 (existing grounds and site plan)	07.10.2011
22	Issue 22 (existing grounds and site plan)	07.10.2011
23	Issue 23 (existing grounds and site plan)	07.10.2011
24	Issue 24 (existing grounds and site plan)	07.10.2011
25	Issue 25 (existing grounds and site plan)	07.10.2011
26	Issue 26 (existing grounds and site plan)	07.10.2011
27	Issue 27 (existing grounds and site plan)	07.10.2011
28	Issue 28 (existing grounds and site plan)	07.10.2011
29	Issue 29 (existing grounds and site plan)	07.10.2011
30	Issue 30 (existing grounds and site plan)	07.10.2011
31	Issue 31 (existing grounds and site plan)	07.10.2011
32	Issue 32 (existing grounds and site plan)	07.10.2011
33	Issue 33 (existing grounds and site plan)	07.10.2011
34	Issue 34 (existing grounds and site plan)	07.10.2011
35	Issue 35 (existing grounds and site plan)	07.10.2011
36	Issue 36 (existing grounds and site plan)	07.10.2011
37	Issue 37 (existing grounds and site plan)	07.10.2011
38	Issue 38 (existing grounds and site plan)	07.10.2011
39	Issue 39 (existing grounds and site plan)	07.10.2011
40	Issue 40 (existing grounds and site plan)	07.10.2011
41	Issue 41 (existing grounds and site plan)	07.10.2011
42	Issue 42 (existing grounds and site plan)	07.10.2011
43	Issue 43 (existing grounds and site plan)	07.10.2011
44	Issue 44 (existing grounds and site plan)	07.10.2011
45	Issue 45 (existing grounds and site plan)	07.10.2011
46	Issue 46 (existing grounds and site plan)	07.10.2011
47	Issue 47 (existing grounds and site plan)	07.10.2011
48	Issue 48 (existing grounds and site plan)	07.10.2011
49	Issue 49 (existing grounds and site plan)	07.10.2011
50	Issue 50 (existing grounds and site plan)	07.10.2011

**Land to rear of 18 Brown HS Rd
Stood, Rochester ME2 3LE**

Construction of 8 new houses
demolition of existing garages
Proposed site plan and location plan

Proposed Elevations for clearance of appearance reserved matters – House 1

HOUSE 1 FLOOR PLANS



HOUSE 1 PROPOSED FIRST FLOOR PLAN



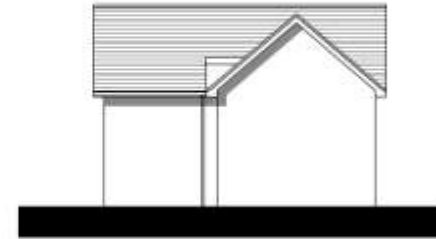
HOUSE 1 PROPOSED GROUND FLOOR PLAN



HOUSE 1 PROPOSED ELEVATIONS



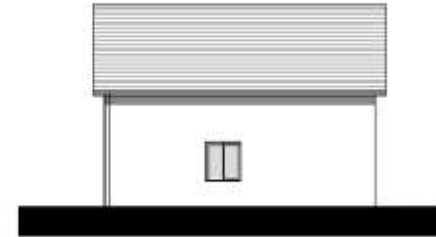
HOUSE 1 PROPOSED FRONT ELEVATION



HOUSE 1 PROPOSED SOUTH SIDE FACING ELEVATION



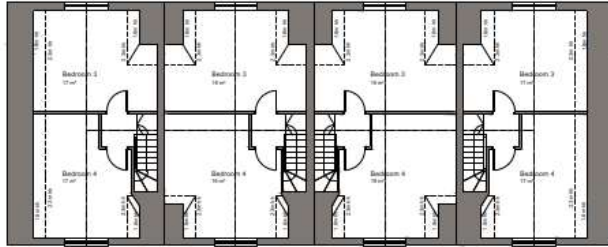
HOUSE 1 PROPOSED REAR ELEVATION



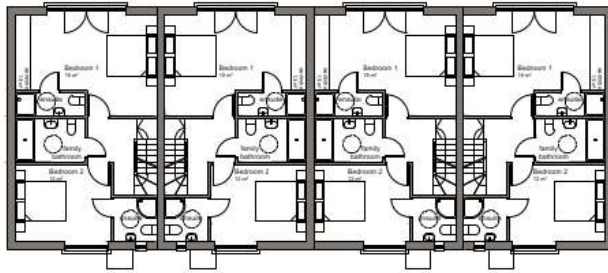
HOUSE 1 PROPOSED NORTH SIDE FACING ELEVATION

Proposed Elevations for clearance of appearance reserved matters – Houses 2-5

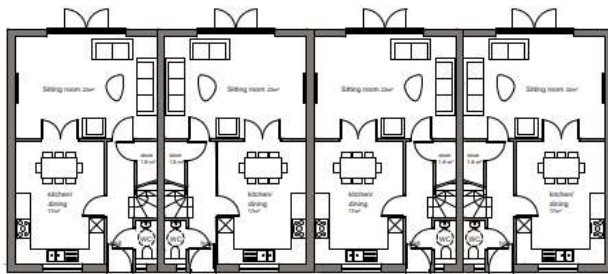
HOUSE 2-5 FLOOR PLANS



HOUSE 2-5 PROPOSED SECOND FLOOR PLAN



HOUSE 2-5 PROPOSED FIRST FLOOR PLAN



HOUSE 2-5 PROPOSED GROUND FLOOR PLAN



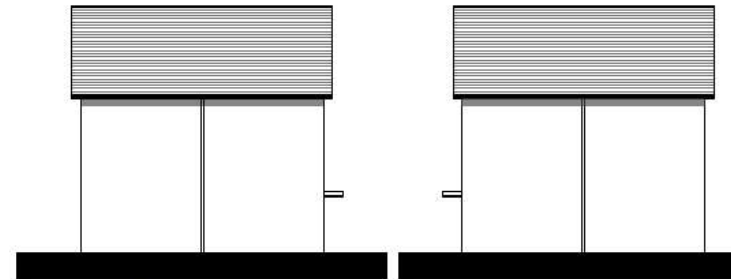
HOUSES 2-5 PROPOSED ELEVATIONS



HOUSE 2-5 PROPOSED FRONT ELEVATION



HOUSE 2-5 PROPOSED REAR ELEVATION

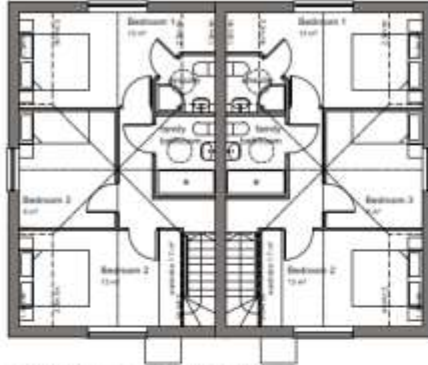


HOUSE 2-5 PROPOSED EAST FACING SIDE ELEVATION

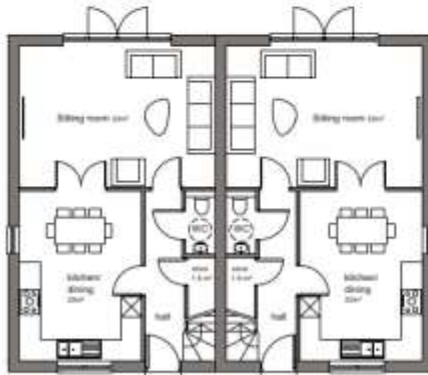
HOUSE 2-5 PROPOSED WEST FACING SIDE ELEVATION

Proposed Elevations for clearance of appearance reserved matters – Houses 6 and 7

HOUSE 6-7 FLOOR PLANS



HOUSE 6-7 PROPOSED FIRST FLOOR PLAN



HOUSE 6-7 PROPOSED GROUND FLOOR PLAN

HOUSES 6-7 PROPOSED ELEVATIONS



HOUSE 6-7 PROPOSED FRONT ELEVATION



HOUSE 6-7 PROPOSED EAST FACING ELEVATION



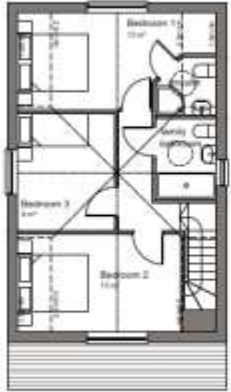
HOUSE 6-7 PROPOSED FRONT ELEVATION



HOUSE 6-7 PROPOSED WEST FACING ELEVATION

Proposed Elevations for clearance of appearance reserved matters – House 8

HOUSE 8 FLOOR PLANS



HOUSE 8 PROPOSED FIRST FLOOR PLAN



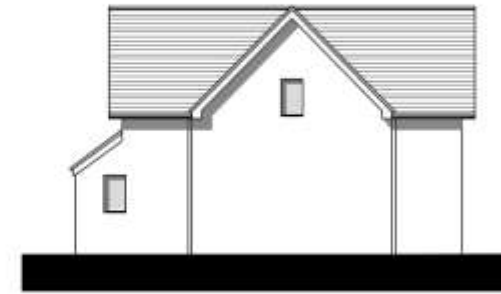
HOUSE 8 PROPOSED GROUND FLOOR PLAN



HOUSE 8 PROPOSED ELEVATIONS



HOUSE 8 PROPOSED FRONT ELEVATION



HOUSE 8 PROPOSED EAST FACING ELEVATION



HOUSE 8 PROPOSED REAR ELEVATION



HOUSE 8 PROPOSED WEST FACING ELEVATION

Materials

RENDER

1. K-Rend - Render Silicone FT - White



ROOF

1. Redland Mini Stonewold - Concrete Slate - Slate Grey



RAINWATER GOODS

1. ROUND uPVC - Dark Grey



WINDOWS

1. uPVC - Dark Grey



MC/23/0707

40 Birling Avenue

Rainham

ME8 7EY



MC/23/0707 - 40 Birling Avenue, Rainham, Gillingham, ME8 7EY











THE SEED
SUPERMARKET & OFF LICENCE

WICKERSLAND

GL67 XZJ

40 Birling Avenue, Rainham, Gillingham, ME8 7EY



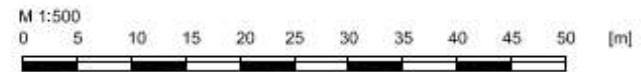


EXISTING BLOCK PLAN
SCALE 1:500@A3



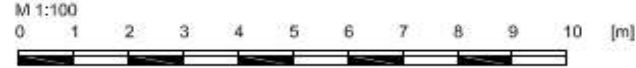


PROPOSED BLOCK PLAN
SCALE 1:500@A3



NOTE: ALL MATERIALS TO BE USED SHOULD BE SIMILAR IN APPEARANCE TO THE EXISTING HOUSE

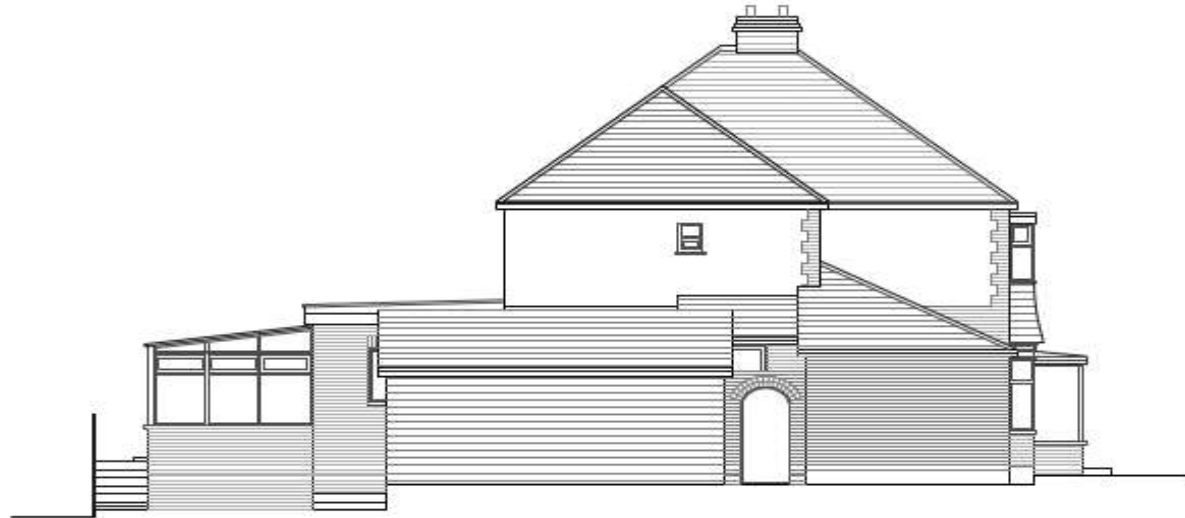
NOTE: THE EXISTING CONSTRUCTION/WALLS ARE ASSUMED TO BE SOLID BRICK/BLOCK MASONRY.



EXISTING FRONT ELEVATION
(SCALE 1:100)



EXISTING REAR ELEVATION
(SCALE 1:100)



EXISTING SIDE ELEVATION
(SCALE 1:100)

THE AGENT WILL NOT BE RESPONSIBLE FOR THE CONTRACT AFTER HANDS OFFERED PLANNING PERMISSION AND ON BEING RECEIVED AND APPROVED AND THE TERMS OF THE AGREEMENT. THE AGENT'S RESPONSIBILITY WILL BE LIMITED TO THE WORK WHICH HAS BEEN APPROVED AND FOR ANY SUBSEQUENT ALTERATIONS MADE WHICH ARE BEYOND THE CONTROL OF THE AGENT. THE AGENT SHALL BE LIABLE FOR ANY FAULTS IN THE WORK.

GENERAL NOTES

Dimensions are approximate. All dimensions, roof angles and heights to be checked on site prior to commencement.

Contractor to check site thoroughly & report any discrepancies.

This drawing shall not be used for Building Regulations and/or Construction purposes.

PARTYWALL ACT 1996 etc.

It is owner's / client's responsibility to fulfill the duty under this act. Under the terms and conditions of the above act, it will be necessary for a Partywall notice to be served on the adjoining neighbouring property.

No part of new works (i.e. Foundations, Walls or Roofs) to overstep the boundary.

THIS DRAWING IS THE PROPERTY OF ICON DESIGN STUDIO LTD. AND IS NOT TO BE REPRODUCED, DISCLOSED, OR COPIED WITHOUT WRITTEN PERMISSION.

Exact location of the drain/manhole unknown. Location/Invert level/change in direction of the drain/manhole is subject to the local water authority approval.

DATE	
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ICON DESIGN STUDIO LTD.
 2 Station Road
 High Wycombe, Bucks HP12 3JF
 Tel: 0494 451111
 Email: info@icondesignstudio.com

PROJECT: DEMOLITION OF EXISTING OUTBUILDING AND PROPOSED DOUBLE STOREY SIDE EXTENSION TO CREATE A RETAIL UNIT AND A ONE BEDROOM FLAT, NEW CROSSOVER AND DROPPED KERB AT 40 BRIDG AVENUE BARNHAM MGS TCV.

DRAWING: EXISTING ELEVATIONS

CLIENT: MR SUBJECT S10/23

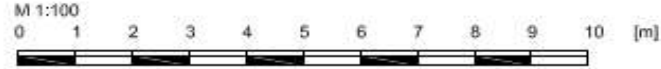
DATE: MARCH 2023 **SCALE:** 1:100 @ A3

DRG NO.: ICON-134-P3 **REVISIONS:**

© PLANNING ISSUE

NOTE: ALL MATERIALS TO BE USED SHOULD BE SIMILAR IN APPEARANCE TO THE EXISTING HOUSE

NOTE: THE EXISTING CONSTRUCTION/WALLS ARE ASSUMED TO BE SOLID BRICK/BLOCK MASONRY.



PROPOSED FRONT ELEVATION (SCALE 1:100)



PROPOSED REAR ELEVATION (SCALE 1:100)



PROPOSED SIDE ELEVATION (SCALE 1:100)

THE CLIENT WILL BE RESPONSIBLE FOR THE CONTRACT AFTER THIS DRAWING IS ISSUED. THE ARCHITECT HAS NO LIABILITY FOR THE CONTRACT AFTER THIS DRAWING IS ISSUED. THE ARCHITECT HAS NO LIABILITY FOR THE CONTRACT AFTER THIS DRAWING IS ISSUED.

GENERAL NOTES

Dimensions are approximate. All dimensions, roof angles and heights to be checked on site prior to commencement.

Contractor to check site thoroughly & report any discrepancies.

This drawing shall not be used for Building Regulations and/or Construction purposes.

PARTYWALL ACT 1996 etc.

It is owner's / client's responsibility to fulfill their duty under this act. Under the terms and conditions of the above act, it will be necessary for a Partywall notice to be served on the adjoining neighbouring property.

No part of your walls, or Foundations, Walls or Roofs to overlie the boundary.

THIS DRAWING IS THE PROPERTY OF ICOM DESIGN STUDIO LTD. AND IS NOT TO BE REPRODUCED, DISCLOSED, OR COPIED WITHOUT WRITTEN PERMISSION.

Exact location of the drain/manhole unknown. Location/invert level/change in direction of the drain/manhole is subject to the local water authority approval.

DATE	
<p>ICOM DESIGN STUDIO LTD 200000 Street Oxford, OX1 1AA 01235 0000110 www.icomdesignstudio.com</p>	
<p>PROJECT DEMOLITION OF EXISTING OUTBUILDING, PROPOSED DOUBLE STOREY SIDE EXTENSION TO CREATE A RETAIL UNIT AND A ONE BEDROOM FLAT, NEW CROSSOVER AND DROPPED KERB AT 40 BPS, 100 AVENUE, RAINHAM, NBS 7EY.</p>	
<p>DRAWING PROPOSED ELEVATIONS</p>	
<p>CLIENT MR ANJEEET SINGH</p>	
<p>DATE 18/03/2023</p>	<p>SCALE 1:100 @ A3</p>
<p>DRG NO. ICON-134-P4</p>	<p>REVISIONS</p>

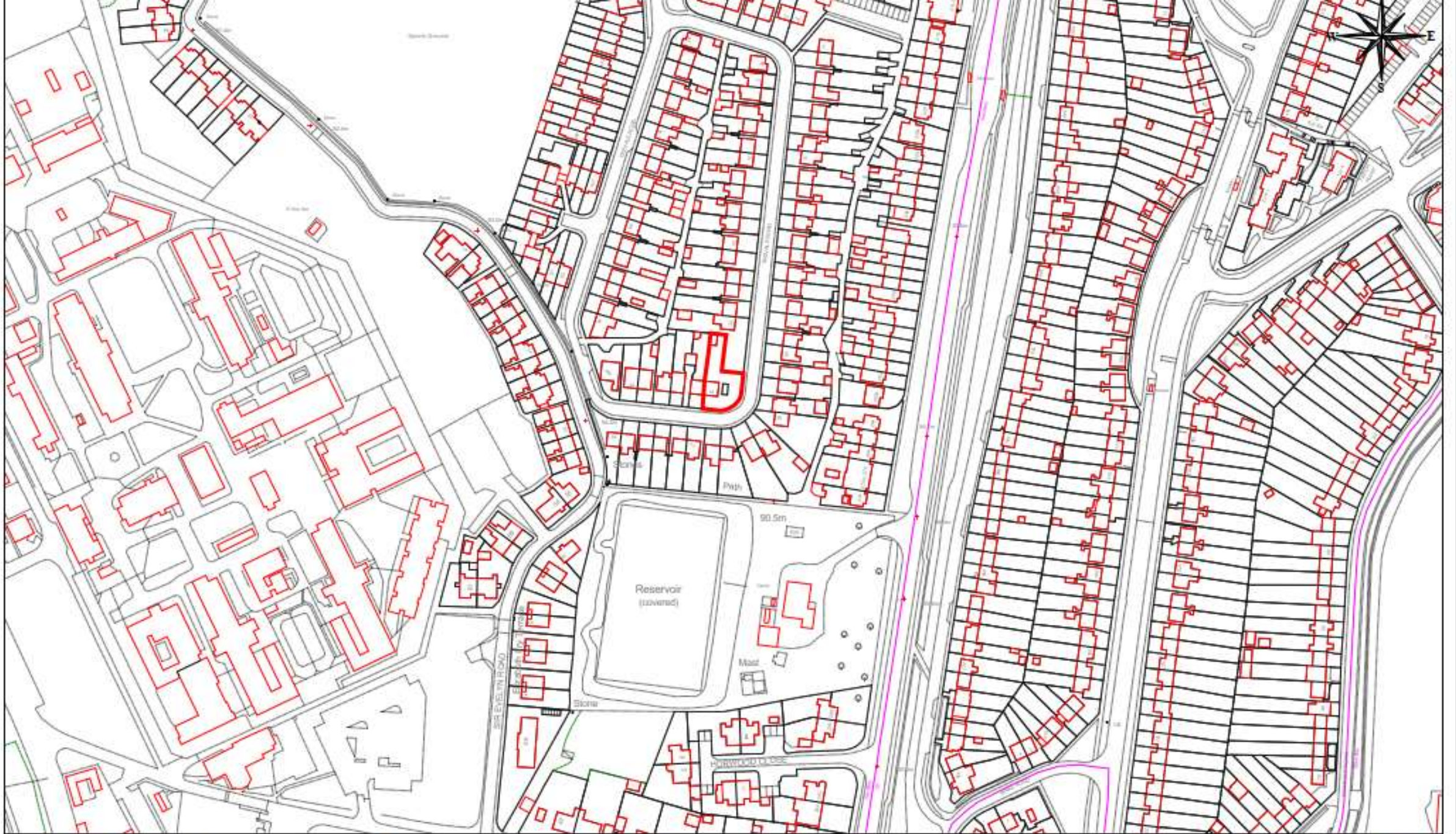
PLANNING ISSUE

MC/23/0726

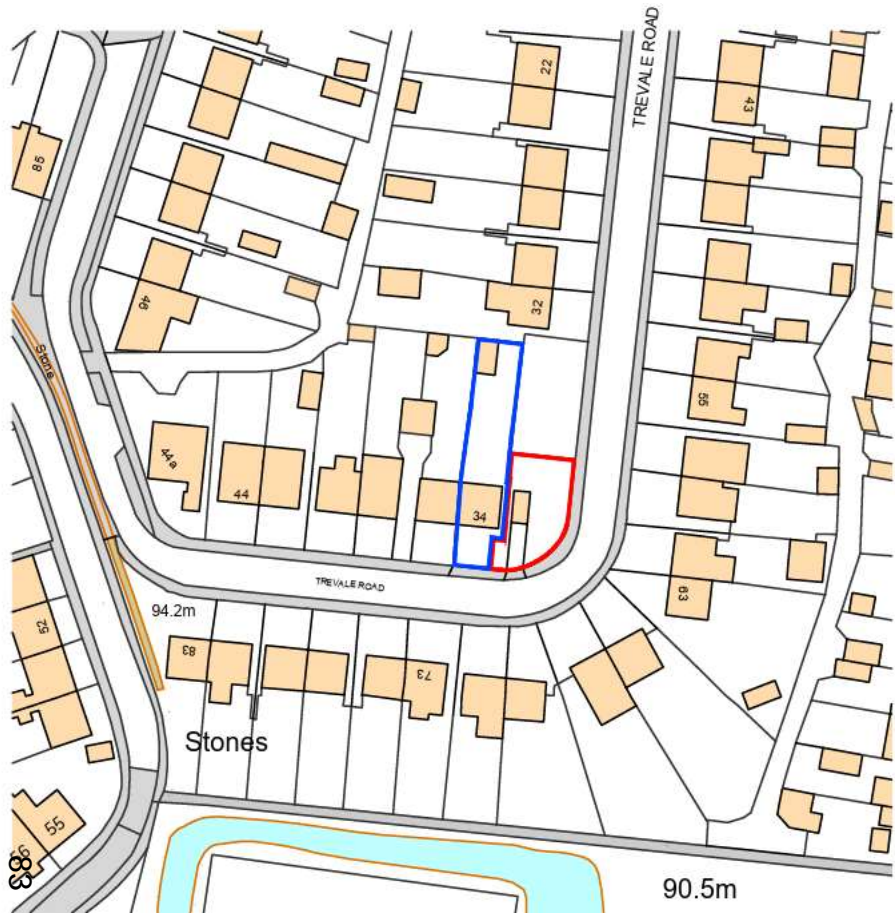
34 Trevale Road

Rochester

ME1 3PA



Site Location



Site Photos – Front of the site

84



Site Photos – Rear of the site



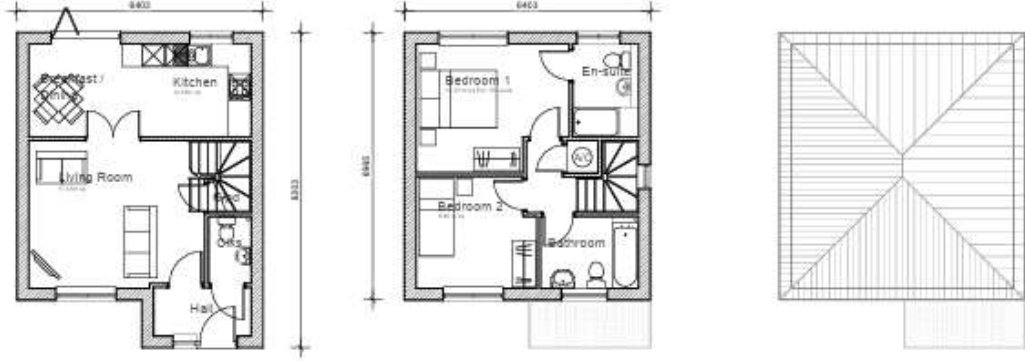
88 Site Photo – Corner
Plot north end of
Trevale Road



Site Photo – Existing
Rear Garden



Proposed Plans – MC/18/2200



Ground Floor Plan
 Area 40.08 m sq
 Total Floor Area 77.01 m sq / 829 sq ft

First Floor Plan
 Area 36.93 m sq

Roof Plan

Proposed Elevations and Floor Plan

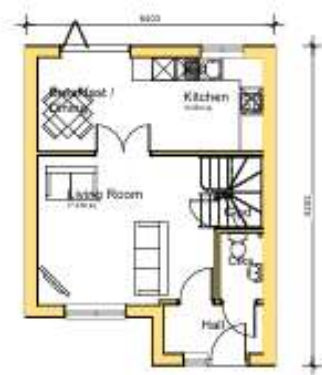


Front Elevation
Elevations 1:100

Side Elevation

Rear Elevation

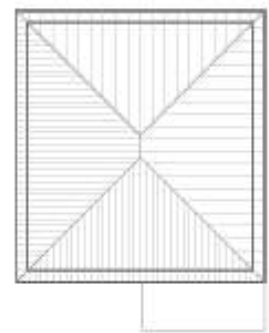
Side Elevation



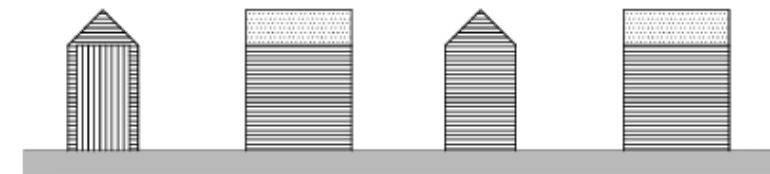
Ground Floor Plan
Area 40.06 m sq
Total Floor Area 77.01 m sq / 829 sq ft



First Floor Plan
Area 36.93 m sq



Roof Plan



Elevations - 1:100
Apex Shed 1.2 x 1.8m for cycle storage fixed securely to ground and with secure padlock to door

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