

Planning Committee – Supplementary agenda No.2

A meeting of the Planning Committee will be held on:

Date: 8 February 2023

Time: 6.30pm

Venue: Meeting Room 9 - Level 3, Gun Wharf, Dock Road, Chatham
ME4 4TR

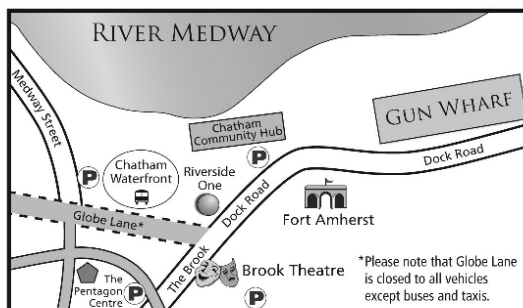
Items

12 Additional Information - Presentation

(Pages
3 - 74)

For further information please contact Julie Francis-Beard, Democratic Services Officer on Telephone: 01634 332012 or Email: democratic.services@medway.gov.uk

Date: 9 February 2023



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available on our website
www.medway.gov.uk

A summary of this information can be made available in other formats from **01634 333333**

Planning Committee

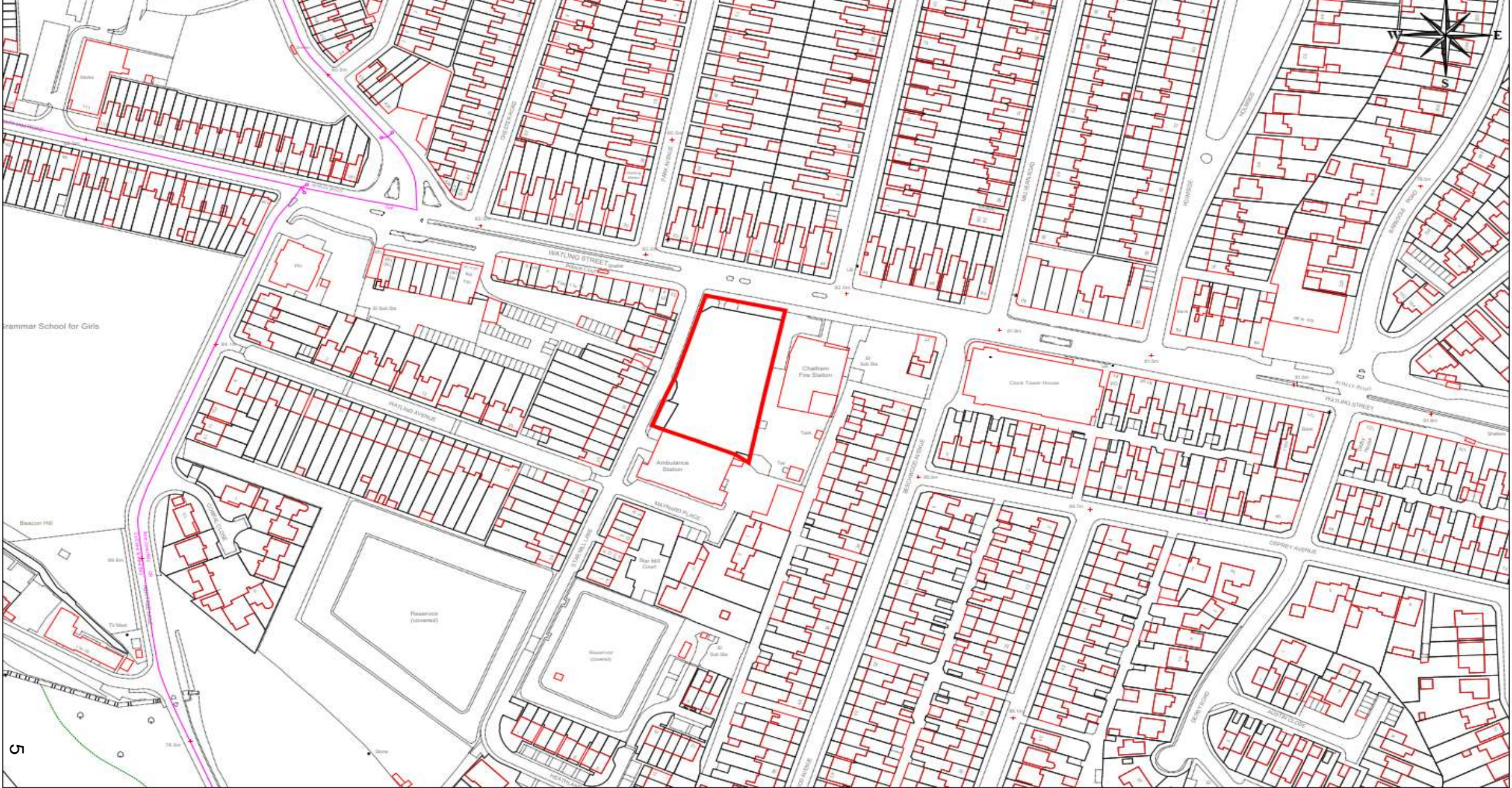
8TH February 2023

MC/22/0687

Former Medway Fire Station Site

Watling Street

Gillingham ME5 7HQ



MC/22/0687 - Site At The Former Medway Fire Station, Watling Street, Gillingham



Photos of application site from Watling Street

9



Photos of application site from Star Mill Lane



Photos opposite application site (Watling Street)

8



Site Location Plan & Aerial Image of application site



Proposed Site Plan



Proposed Floor Plans Retail & Maisonettes



Ground Floor

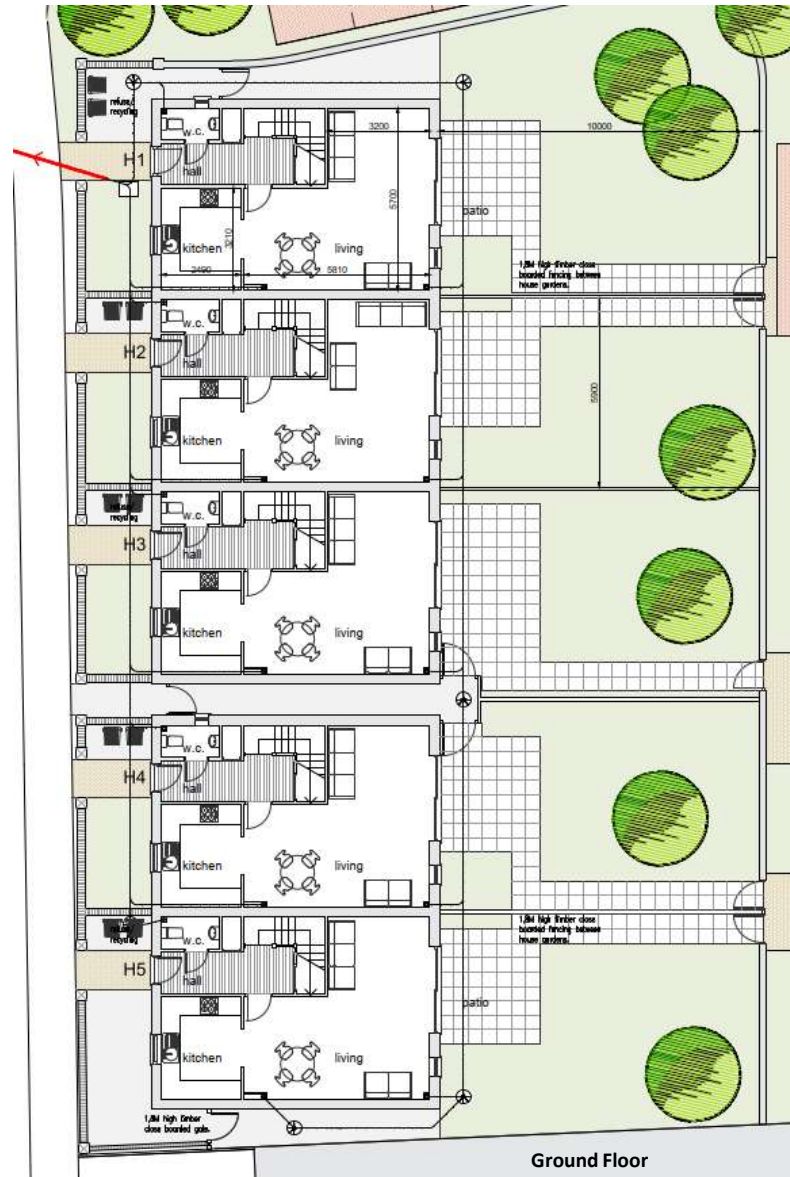


First Floor

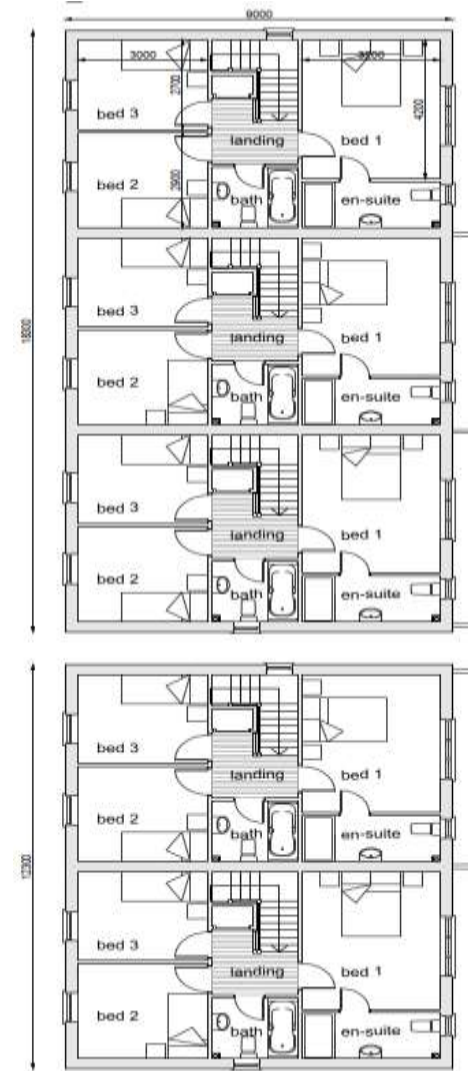
Second Floor



Proposed Floor Plans Houses



Ground Floor



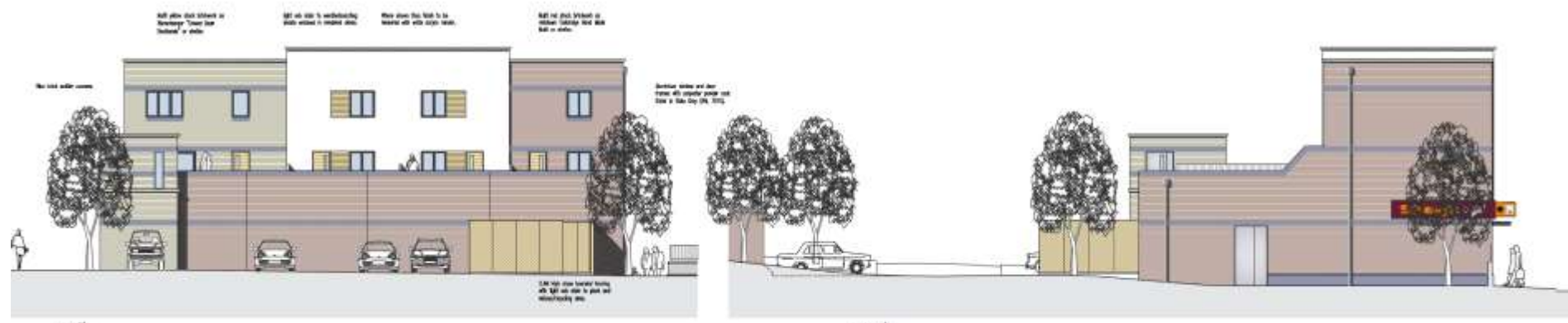
First Floor



Elevations – Retail & Maisonettes



north



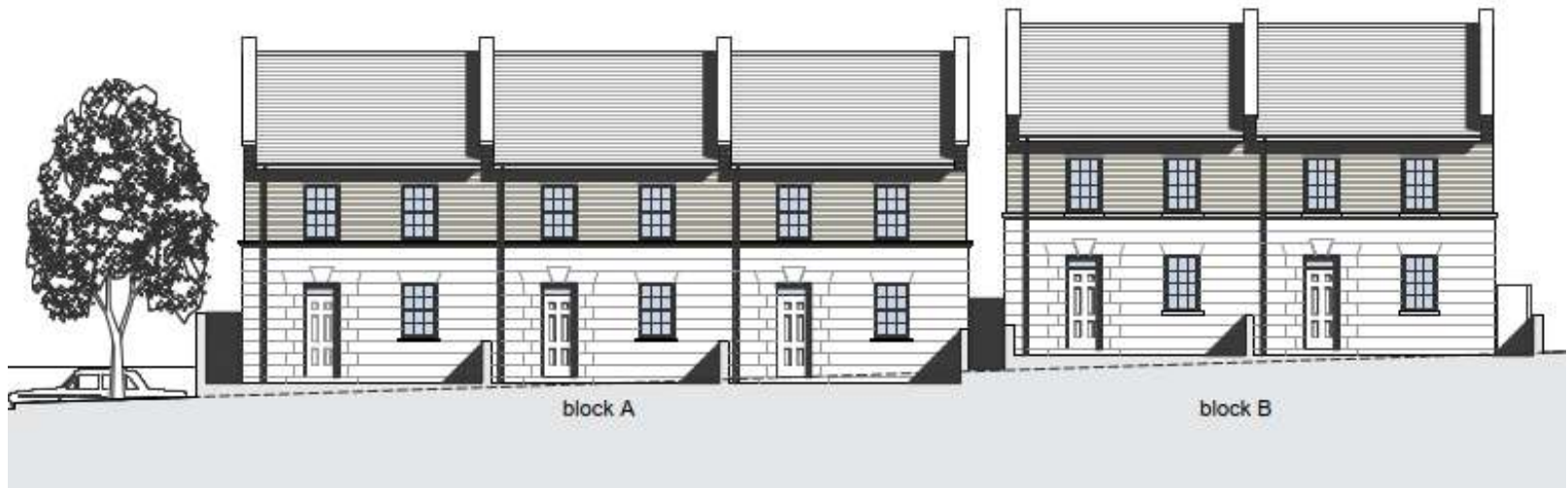
south

east

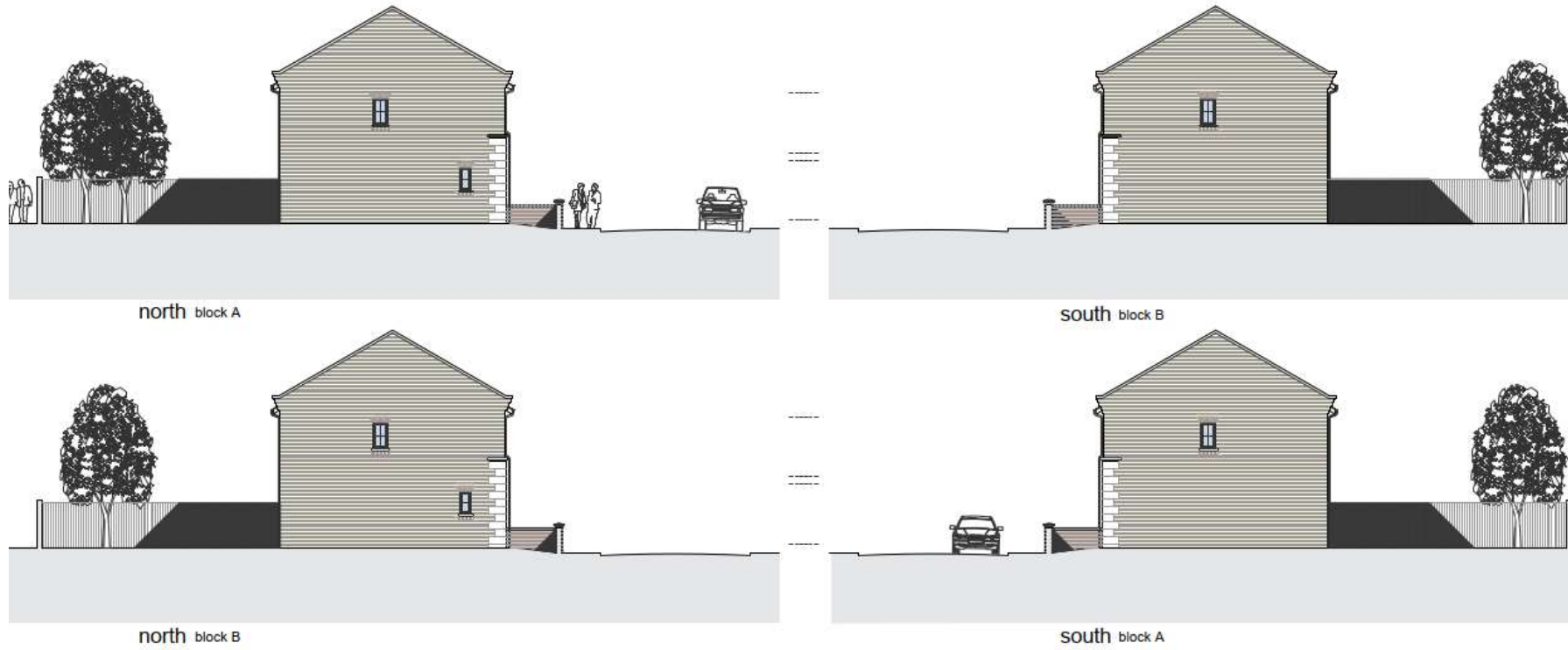


west

Elevations Front and Rear – Houses



Elevations Side– Houses



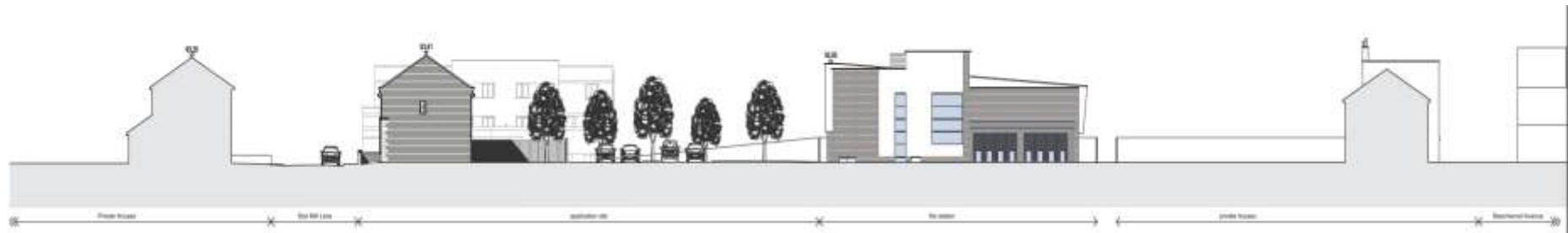
Street scene Elevations Watling Street & Star Mill Lane



Watling Street - North



Star Mill Lane - West



Rear of site - South

MC/22/2207

Land at Purvilles
221 Lordswood Lane
Chatham ME5 8JU



MC/22/2207 - Land At Purvilles, Purvilles, 221 Lordswood Lane, Lordswood, Chatham



Aerial Photograph



Access to site onto Lordswood Lane

20



Lordswood Lane street scene and adjacent to 231 Lordswood Lane



Swift Crescent street scene and adjacent to 35 Swift Crescent

22



Photos of site – Front of the site behind tree boundary of Lordswood Lane



Rear of site from Vixen Close

24



Access from Vixen Close off Setford Road

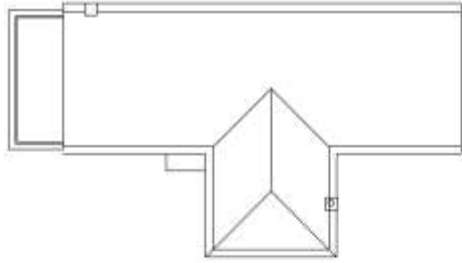


Setford Road Street Scene

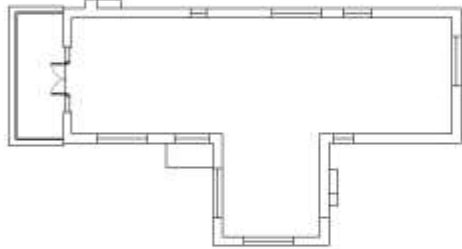
26



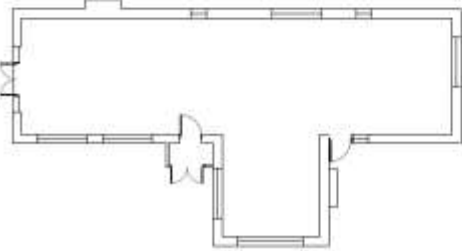
Existing Site and Building Elevations



Existing House Roof



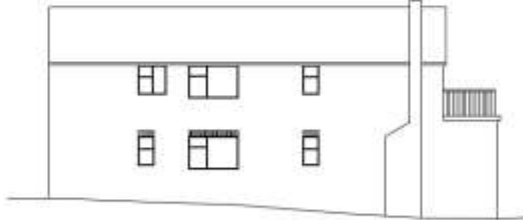
Existing House First Floor



Existing House Ground Floor



Existing House Front Elevation



Existing House Rear Elevation



Existing House Left Flank Elevation



Existing House Right Flank Elevation

Previous
Submission
MC/21/0922
as submitted
39 units. Including
flats below



Front Elevation
Plots 20 - 29

Side Elevation
Plots 20 - 29

Previous
Submission
MC/21/0922
amended prior
to withdrawal
24 units



Proposed Site Plan



Comparison

39 Units



Concerns with flats – number and relationship with neighbouring properties
Parking dominant
Not enough landscaping
Too many units

24 Units



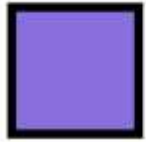
Flats removed
Parking dominant
Not enough landscaping – less than before
Too many units
Relationship of unit in top right corner

20 Units



No flats
Landscaping integrated with parking
Less units – less dense
Better relationship with existing development

Proposed Building Heights



Split Level Dwelling
3 Storey to Front Elevation
2 Storey to Rear Elevation



2 Storey Dwellings



- Split Level Dwelling
3 Storey to Front Elevation
2 Storey to Rear Elevation
- 2 Storey Dwellings

11/23/22		Prepared as shown	
11/23/22		Site plan and elevations	
Planning			
Roadhouse B&C			
WELLS			
Architectural Planning & Design			
Address: 201 Lordswood Lane, Chalfont Bucks HP8 5LS Tel: 01494 451111 Email: info@wellsad.co.uk			
Plan No: 22/1 Lordswood Lane, Chalfont Name: M&S 4/3			
Site Plan - Storey Heights			
Scale:	1:200	A1	July 22
Drawn by:	PL / 090 / 201	Check:	9

Site Section A-A



Plots 1, 2, 5 and 12

34



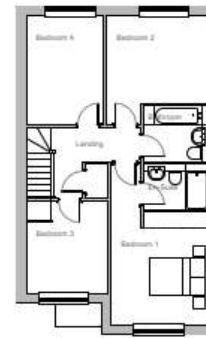
Front Elevation
Plots 1, 2, 5 & 12

Side Elevation
Plots 1, 2, 5 & 12



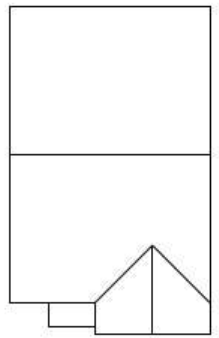
Ground Floor Plan
Plots 1, 2, 5 & 12

69.43 sq m (747 sq ft)
Total GIA Floor Area -
measured between structure = 138.86 sq m = 1495 sq ft
measured between finishes = 137.10 sq m = 1476 sq ft

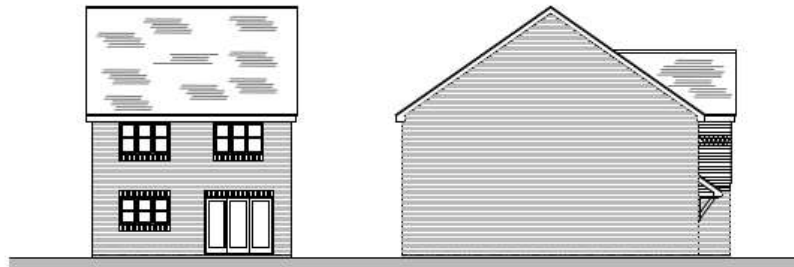


First Floor Plan
Plots 1, 2, 5 & 12

69.43 sq m (747 sq ft)



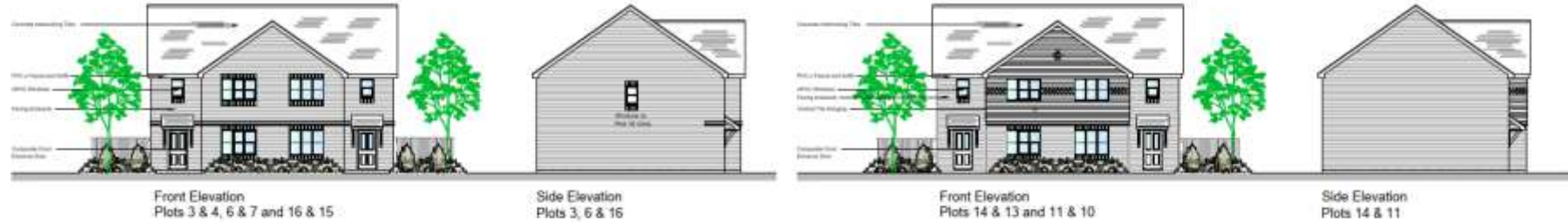
Roof Plan
Plots 1, 2, 5 & 12



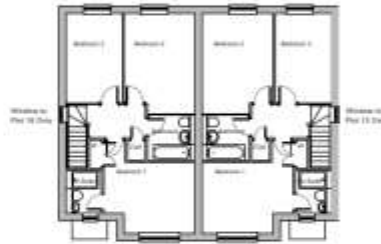
Rear Elevation
Plots 1, 2, 5 & 12

Side Elevation
Plots 1, 2, 5 & 12

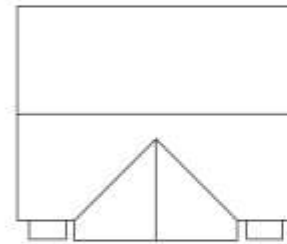
Plots 3, 4, 6, 7, 10, 11, 13 - 16



Ground Floor Plan
Plots 3, 6, 11, 14 & 16 and 4, 7, 10, 13 & 15
66.36 sq m (607 sq ft)
Total GIA Floor Area -
measured between structure = 112.72 sq m = 1213 sq ft
measured between finishes = 111.14 sq m = 1196 sq ft



First Floor Plan
Plots 3, 6, 11, 14 & 16 and 4, 7, 10, 13 & 15
66.36 sq m (607 sq ft)



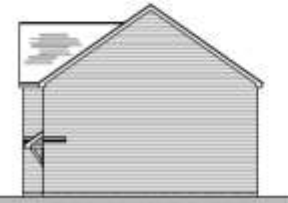
Roof Plan
Plots 3, 6, 11, 14 & 16 and 4, 7, 10, 13 & 15



Rear Elevation
Plots 4, 3, 7, 6, 15, 16, 13, 14, 10 & 11



Side Elevation
Plots 10 & 13



Side Elevation
Plots 4, 7 & 15

Notes:
1. All elevations are shown to a level of 100mm above ground level.
2. All elevations are shown to a level of 100mm above ground level.
3. All elevations are shown to a level of 100mm above ground level.
4. All elevations are shown to a level of 100mm above ground level.

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WELLS
Architectural Planning & Design
221 Lombard Lane, Chatham
Kent ME5 5AJ
Phone: 01622 731111
Fax: 01622 731112
Email: info@wells-arch.co.uk
www.wells-arch.co.uk

Plots 4 Elevations
Plots 3, 4, 6, 7, 10, 11 and 13 - 16

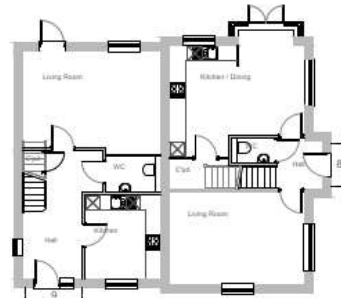
Scale: 1:100
Date: 22 July 2011
Page: 1 of 1
PL / 180 / 201

Plots 8 and 9



Front / Side Elevation
Plots 9 & 8

Side Elevation
Plot 9

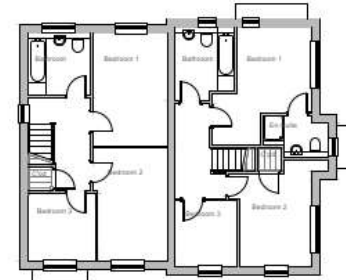


Ground Floor Plan
Plots 9 & 8

Plot 8 - 52.02 sq m (580 sq ft)
Plot 9 - 48.38 sq m (521 sq ft)

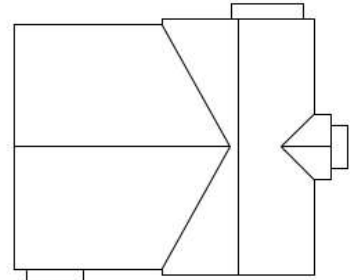
Total GIA Floor Area Plot 8 -
measured between structure = 102.83 sq m = 1107 sq ft
measured between finishes = 101.28 sq m = 1090 sq ft

Total GIA Floor Area Plot 9 -
measured between structure = 96.76 sq m = 1041 sq ft
measured between finishes = 95.34 sq m = 1026 sq ft



First Floor Plan
Plots 9 & 8

Plot 8 - 50.81 sq m (547 sq ft)
Plot 9 - 48.38 sq m (521 sq ft)



Roof Plan
Plots 9 & 8



Front Elevation
Plot 8

Side / Rear Elevation
Plots 8 & 9

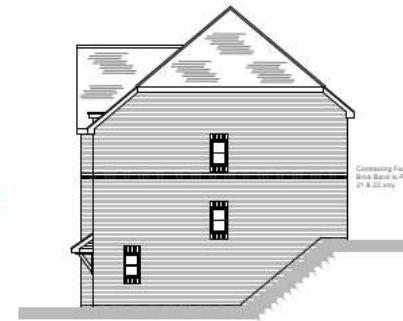
Plots 17-20



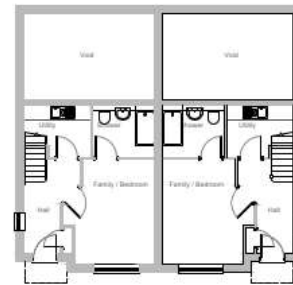
Front Elevation
Plots 17 & 18



Front Elevation
Plots 19 & 20



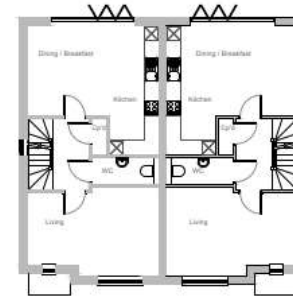
Side Elevation
Plots 18 & 20



Ground Floor Plan
Plots 17, 18, 19 & 20

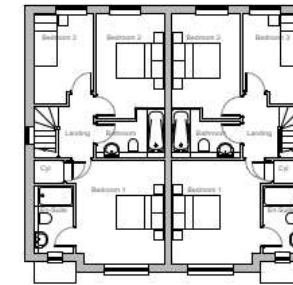
32.59 sq m (351 sq ft)

Total GIA Floor Area -
measured between structure = 136.11 sq m = 1465 sq ft
measured between finishes = 134.01 sq m = 1442 sq ft



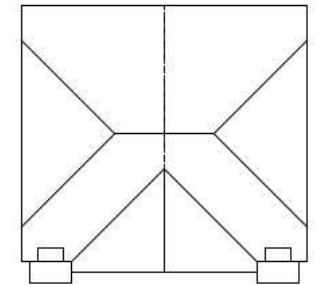
First Floor Plan
Plots 17, 18, 19 & 20

51.76 sq m (557 sq ft)



Second Floor Plan
Plots 17, 18, 19 & 20

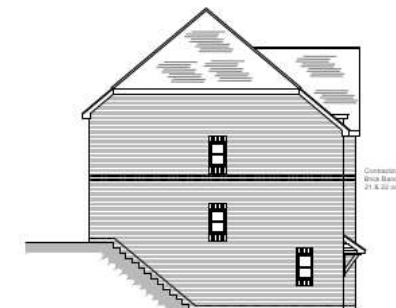
51.76 sq m (557 sq ft)



Roof Plan
Plots 17, 18, 19 & 20



Rear Elevation
Plots 18 & 17 and 20 & 19



Side Elevation
Plots 17 & 19

Retained Trees and Hedges



Tree Categories

- Root protection area (RPA)
- Diameter of trunk (D) recorded on Survey Schedule
- Tree canopy
- Coloured symbol indicating BS category as shown below
- Category A tree (BS5837:2012)
- Category B tree (BS5837:2012)
- Category C tree (BS5837:2012)
- Category U tree (BS5837:2012)

Arboricultural Strategy

- Tree to be retained (Colour reference in accordance with the categories defined by BS5837)
- Tree to be removed (Colour reference in accordance with the categories defined by BS5837)
- Tree group/hedge to be retained (Colour reference in accordance with the categories defined above)
- Tree group or part of tree group to be removed (Colour reference in accordance with the categories defined above)
- Line along which Tree Protection Barrier should be installed. Refer to accompanying report for specification
- Area of hard surface to be installed following a 'no dig' method of construction in accordance with APN12

Project	221 Lords Wood Lane Chatham
Drawing	Tree Protection Plan
Date	05.09.22
Ref	20-1149-TPP-B
Drawn	NT
Checked	DR
Client	Roadhouse BCE
Scale	1:500@A2

Proposed Landscape Management Areas

Hatched area denotes areas to be managed by management company. Please note this excludes areas of hard landscaping e.g. car parking and those hard landscaped areas to be conveyed to individual plots

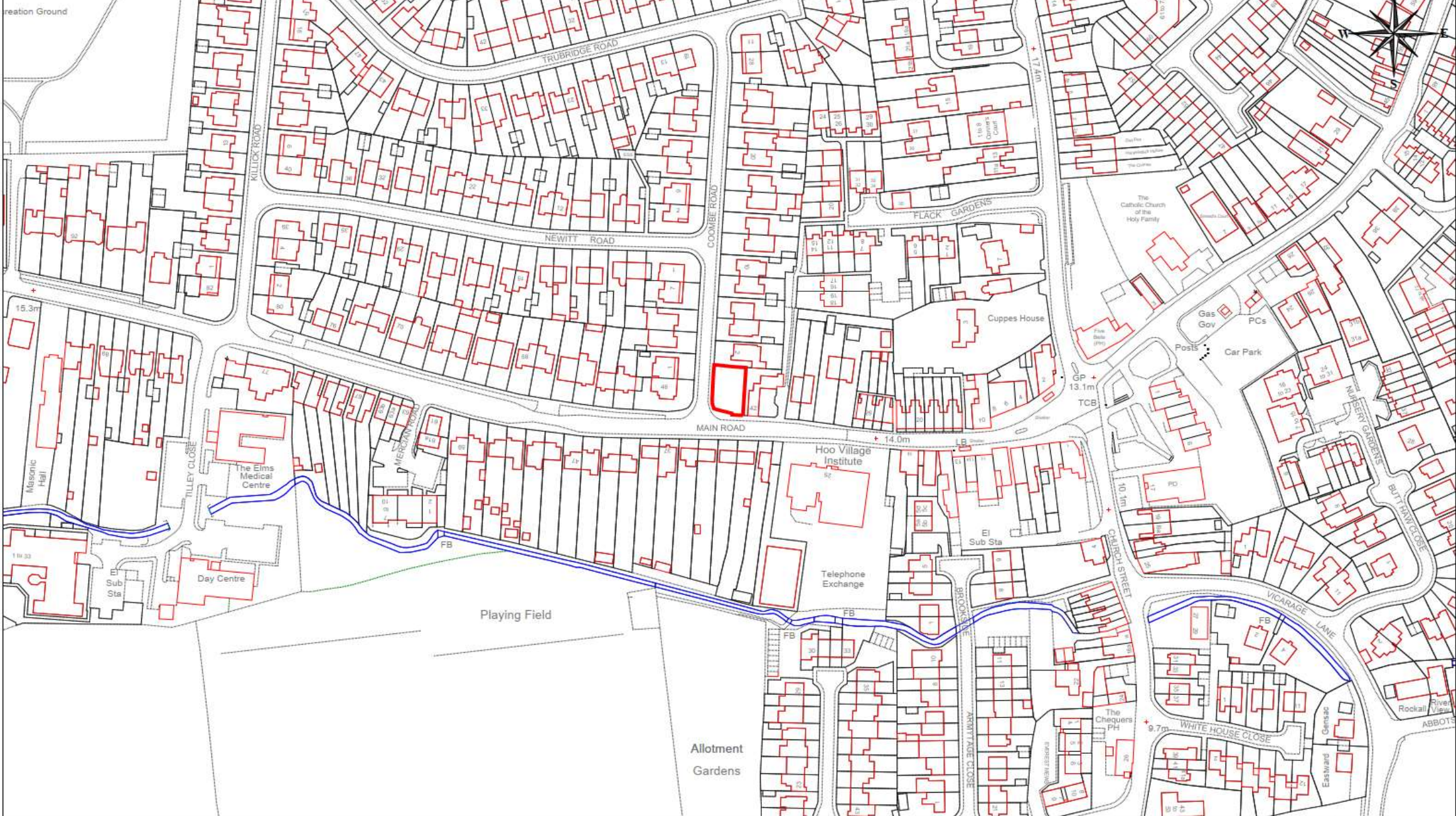


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MC/22/2337

42 Main Road
Hoo , Rochester
ME3 9AD



MC/22/2337 - 42 Main Road, Hoo St Werburgh, Rochester



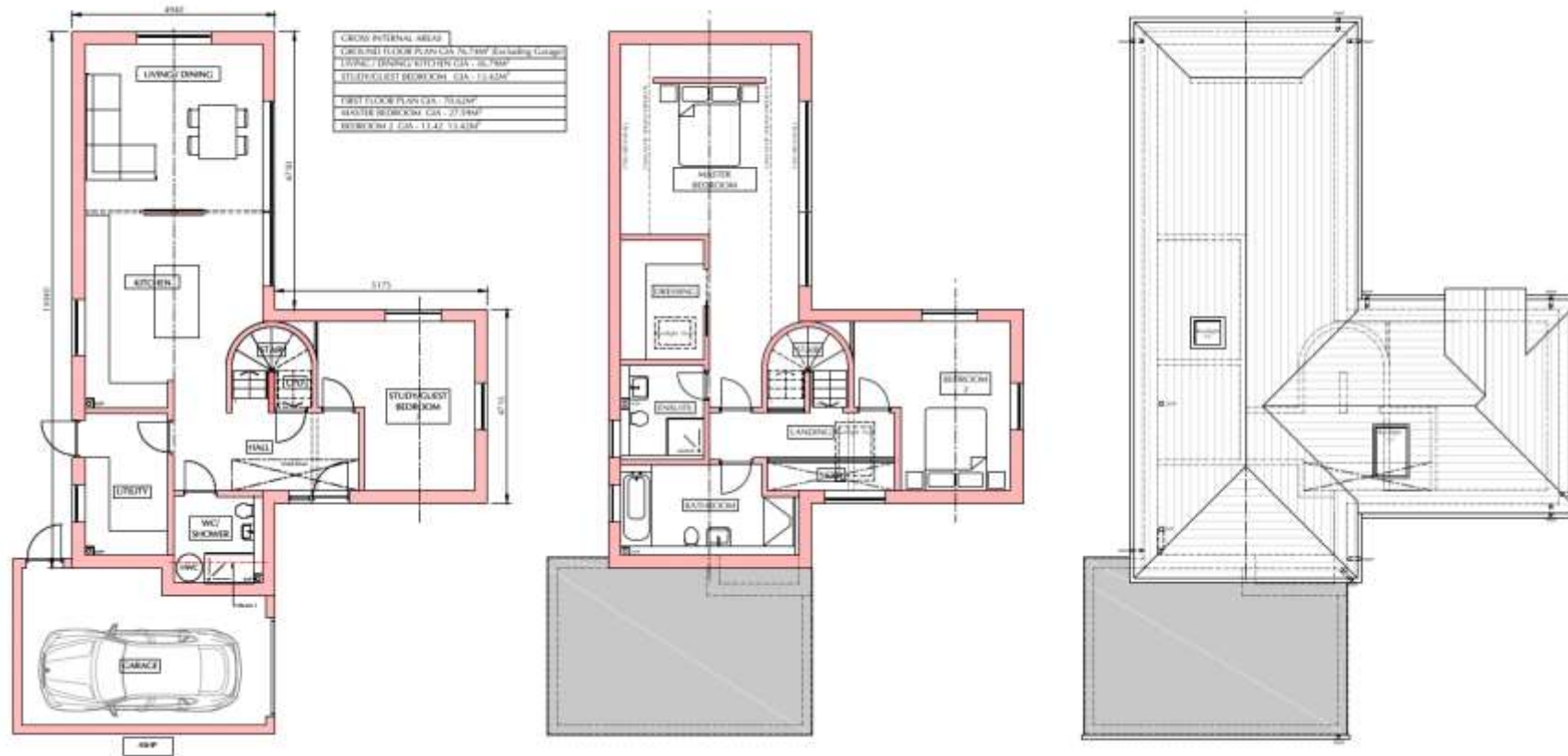
Metres



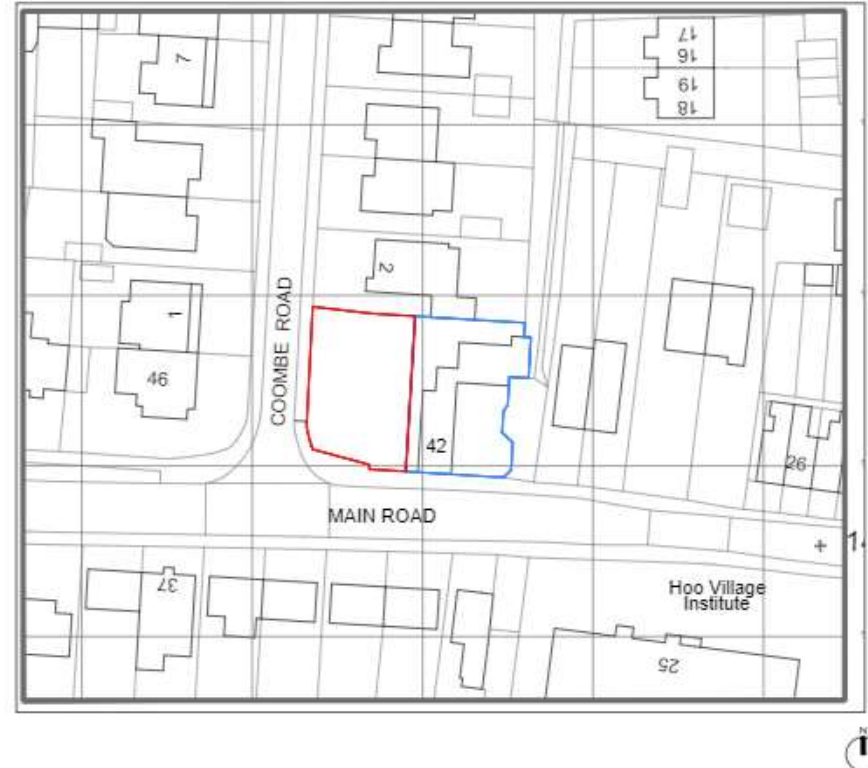
Previously Refused Scheme MC/22/0038



Previously Refused Scheme MC/22/0038



Site Location Plan



Photographs from Main Road/Coombe Road



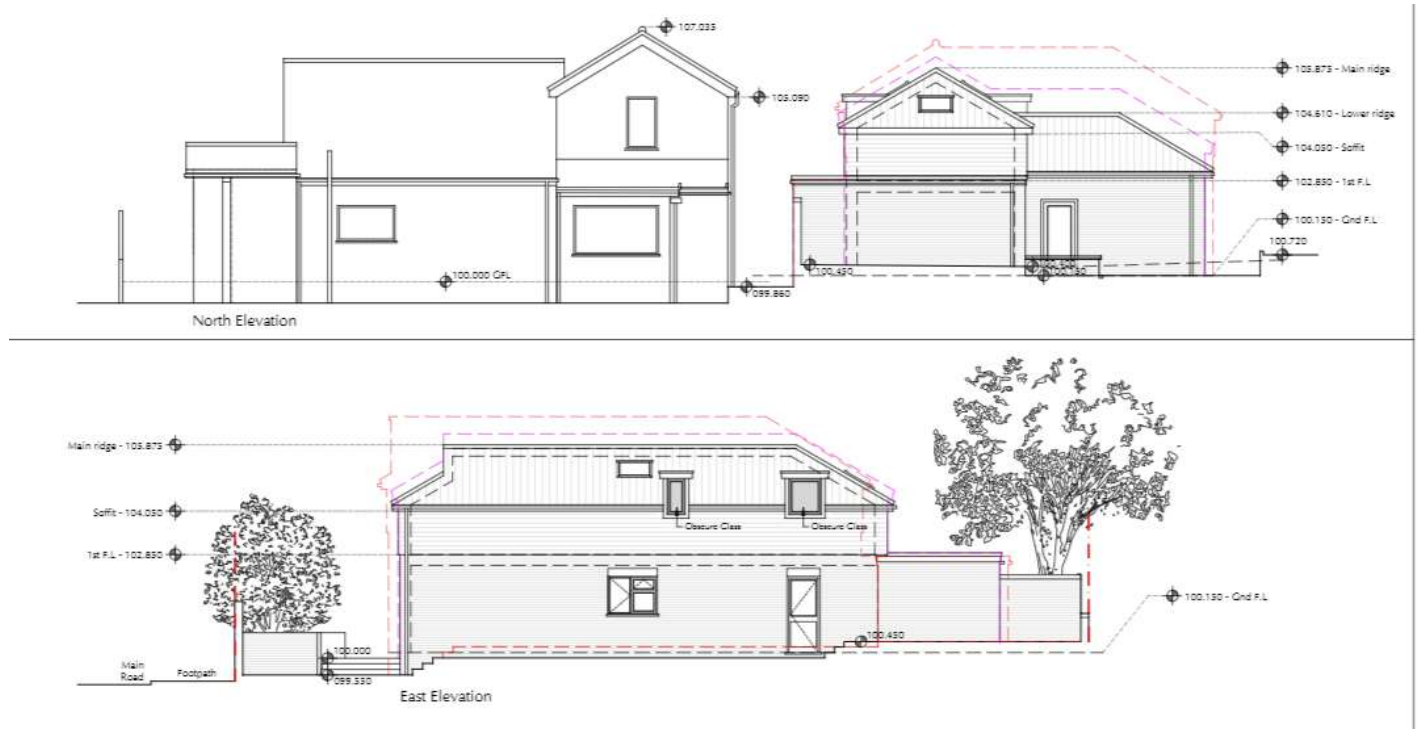
Photographs inside site



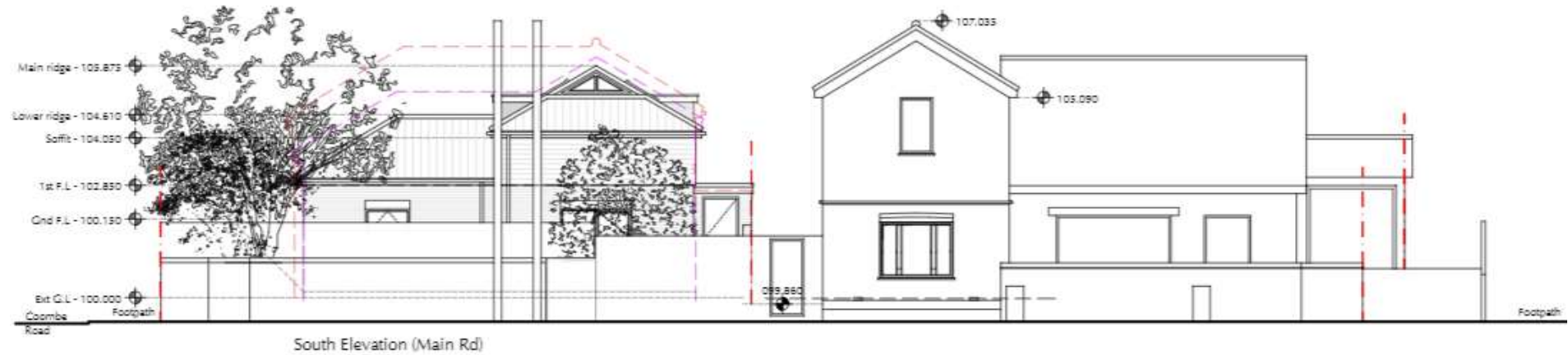
Proposed Elevations



Proposed Elevations



Proposed Street Scene (Main Road)



Proposed Street Scene (Coombe Road)

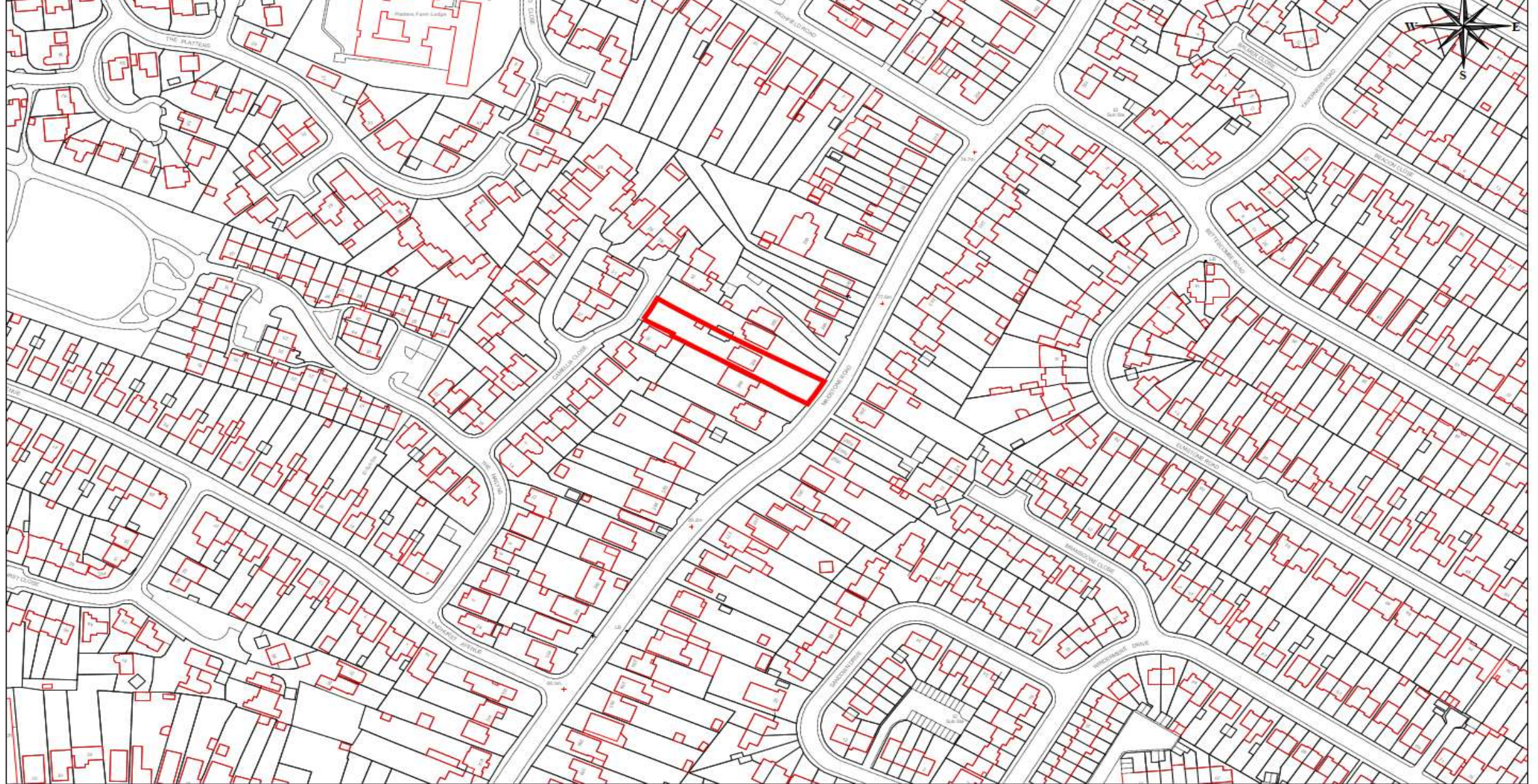


MC/22/2302

254 Maidstone Road

Rainham

ME8 0HH



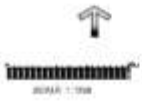
MC/22/2302 - 254 Maidstone Road, Rainham, Gillingham, ME8 0HH



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Site



Photos of Site (from Camellia Close)



Photos of Site



Block Plan

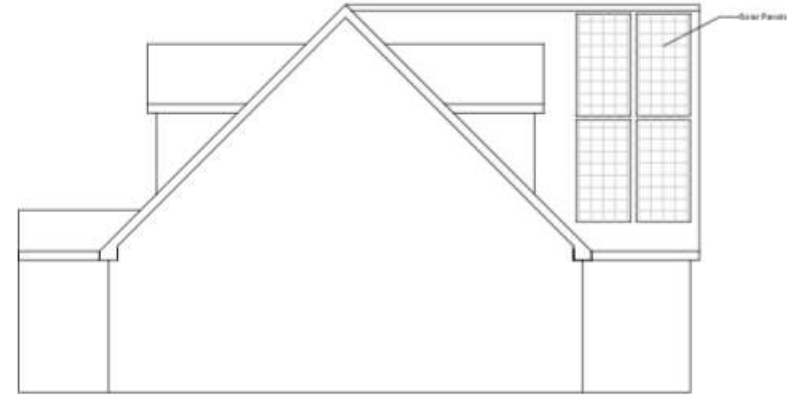
58



Elevations



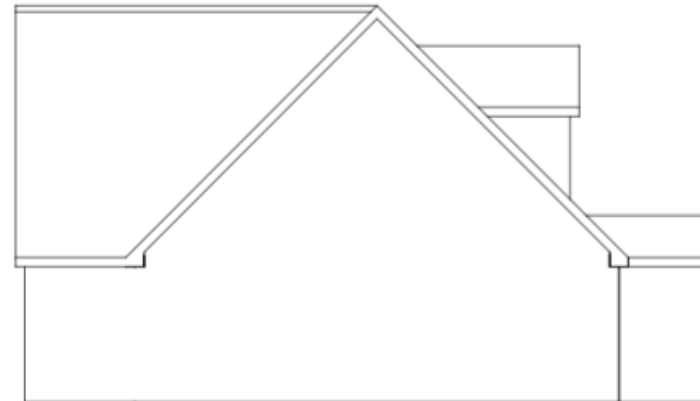
FRONT (NORTH WEST) ELEVATION



SIDE (SOUTH WEST) ELEVATION

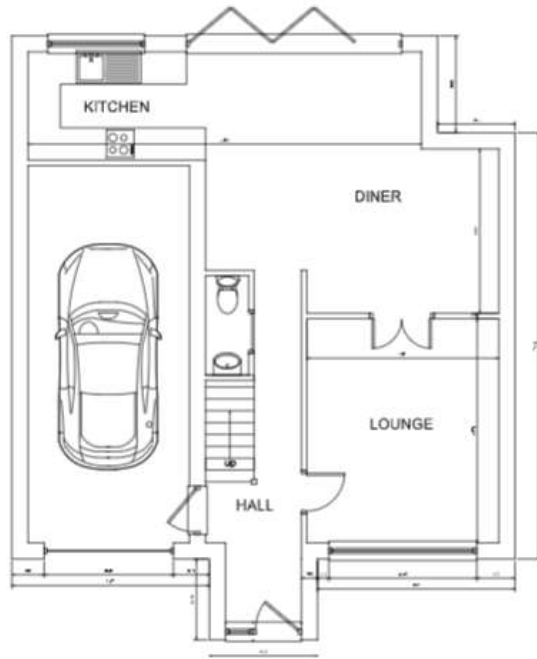


REAR (SOUTH EAST) ELEVATION

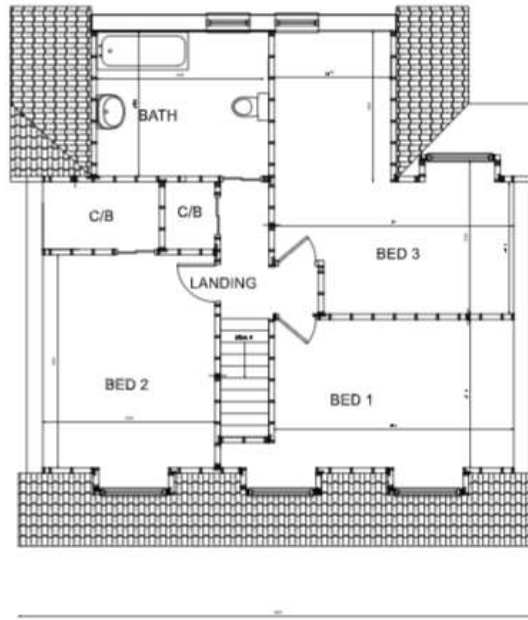


SIDE (NORTH EAST) ELEVATION

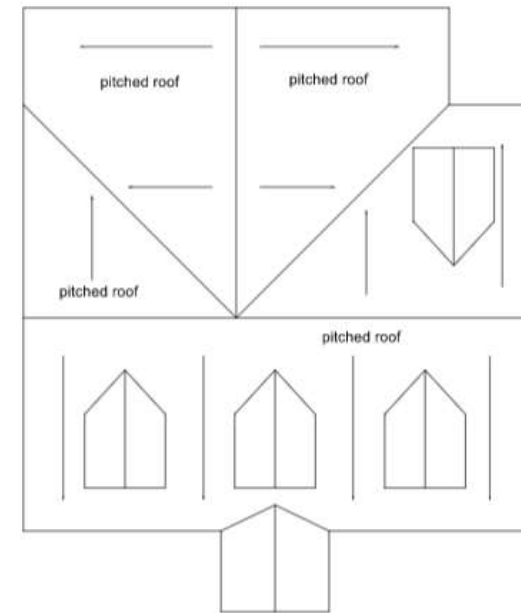
Floor Plans



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



PROPOSED ROOF PLAN

Street Scene



FRONT (NORTH WEST) ELEVATION
Streetview

Tree to be replanted

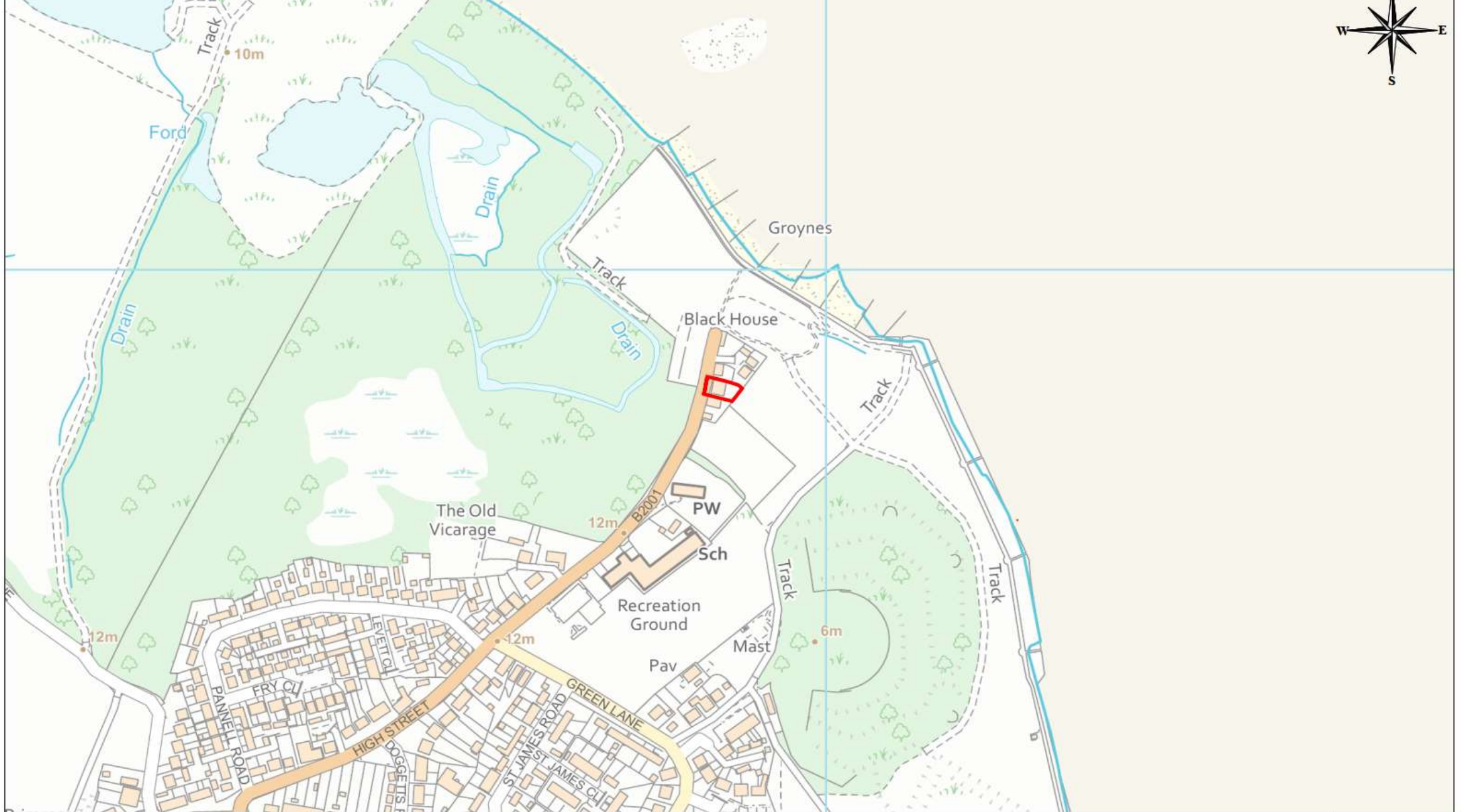


MC/22/2593

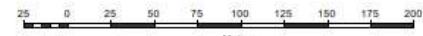
1 Willow Place

High Street

Isle of Grain ME3 0BS



MC/22/2593 - 1 Willow Place, High Street, Isle of Grain, Rochester



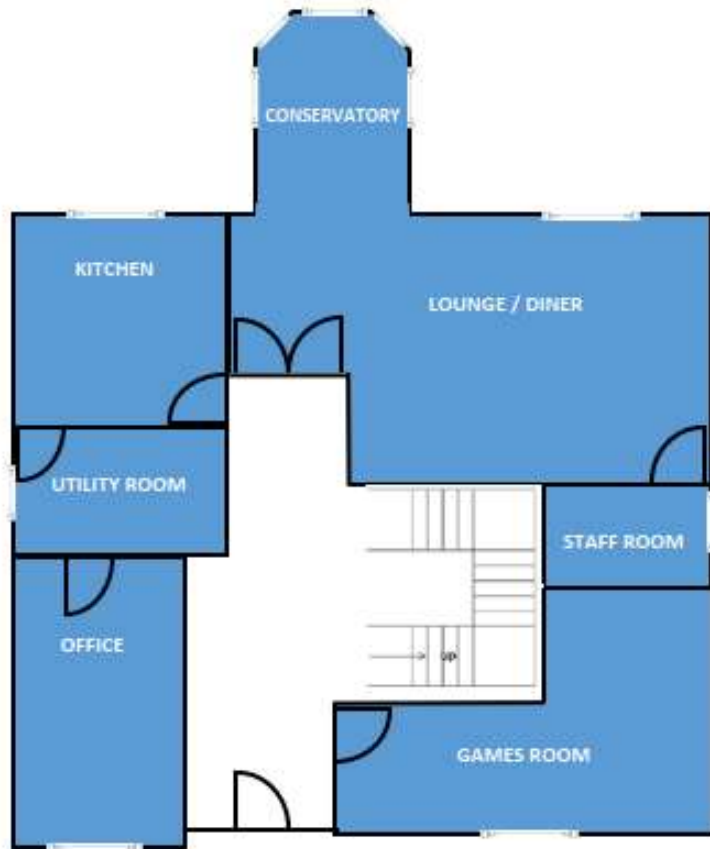
Site Location Plan



99 Photographs of site

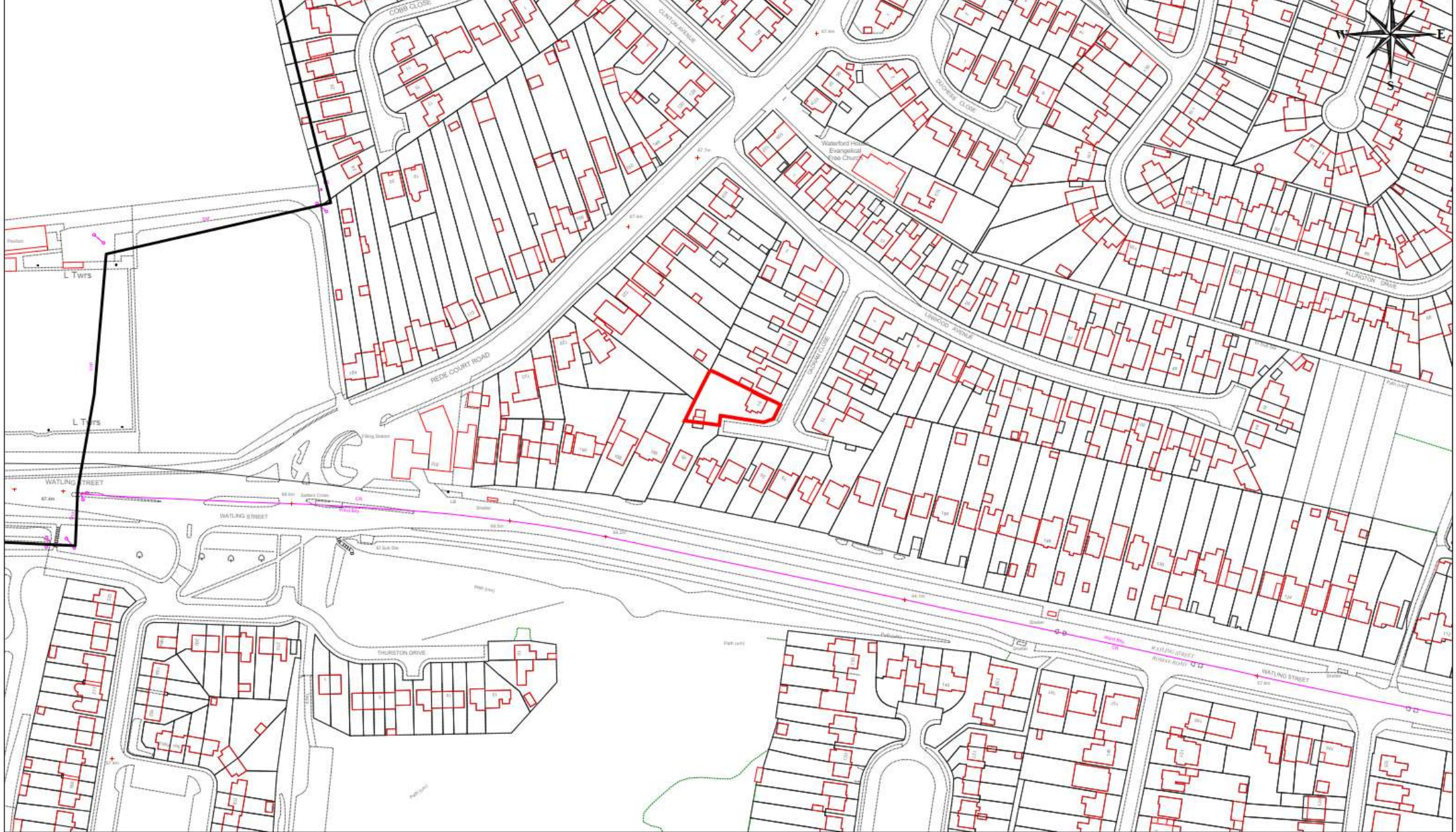


Floor Plans



MC/22/2824

18 Cadnam Close
Strood, Rochester
ME2 3TS

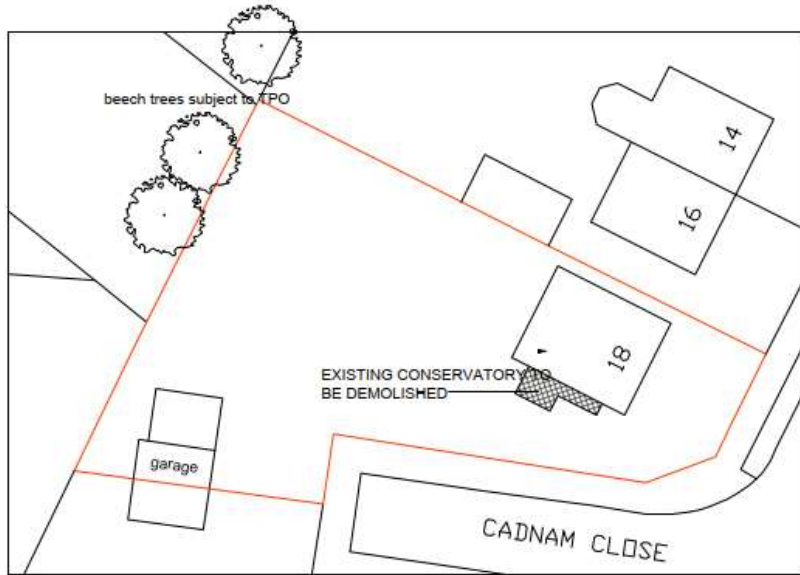


MC/22/2824 - 18 Cadnam Close, Strood, Rochester, ME2 3TS

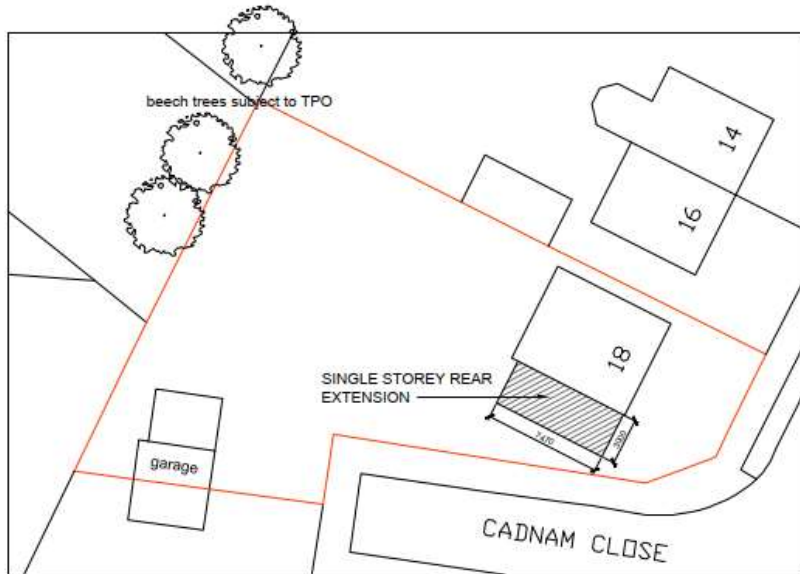


Existing and Proposed Block Plans and Aerial Views

70



BLOCK PLAN
AS EXISTING
(1:200)



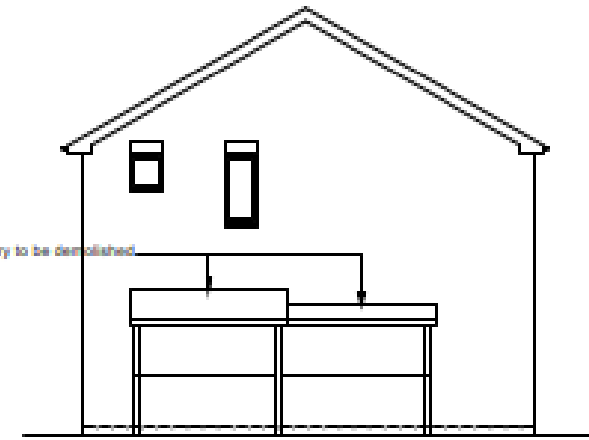
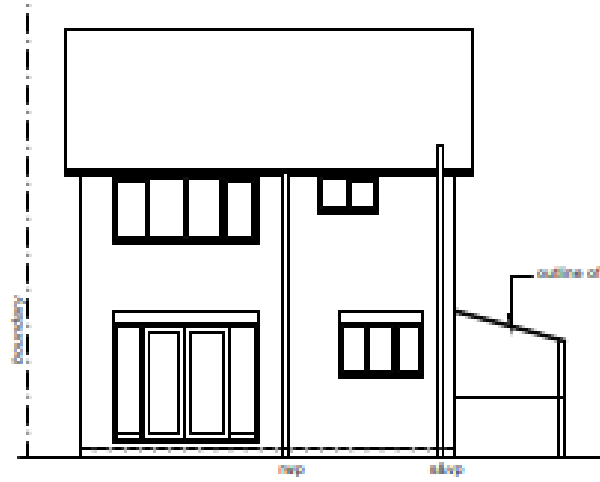
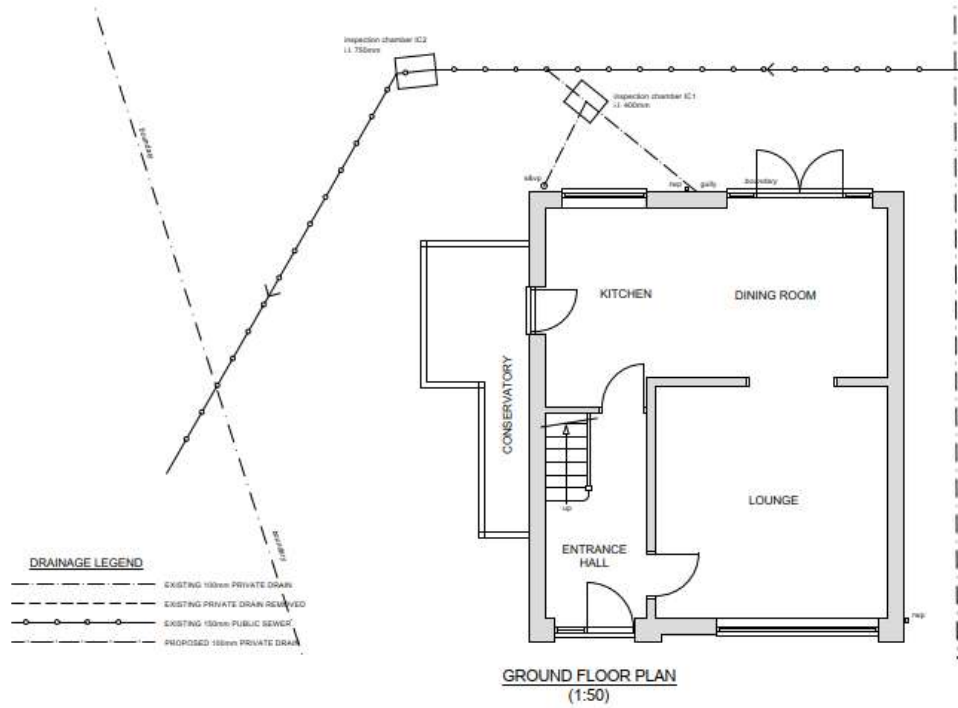
BLOCK PLAN
AS PROPOSED
(1:200)



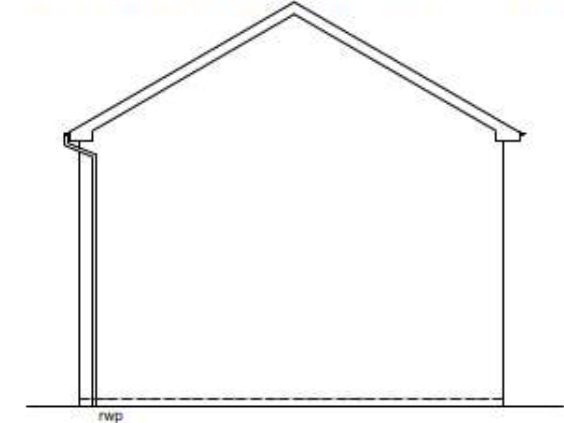
Photos of application site



Existing Elevations and Ground Floor Plans



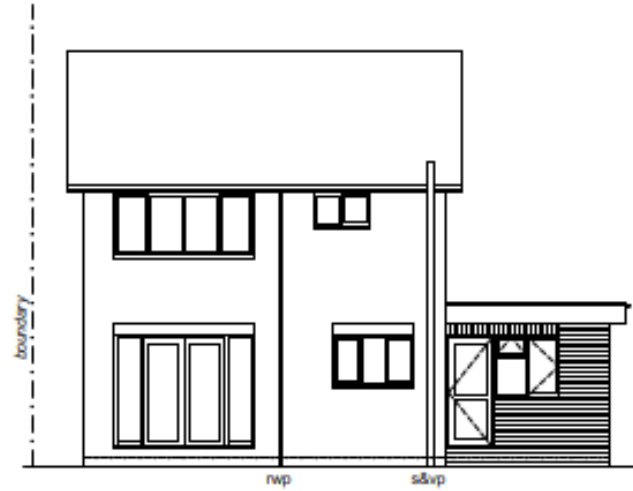
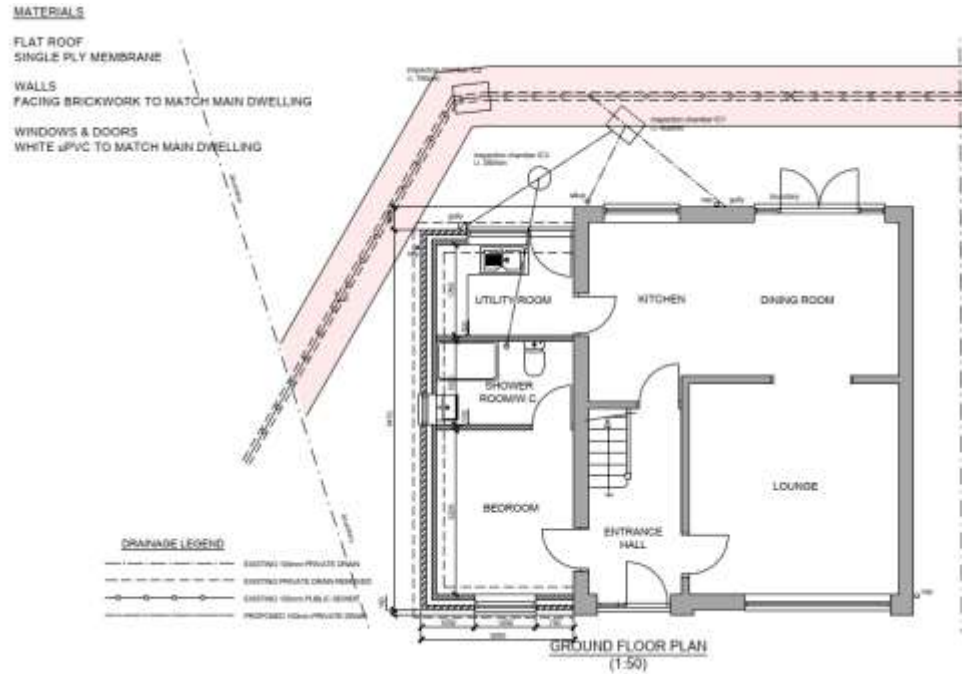
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FRONT ELEVATION (1:100)

SIDE ELEVATION (1:100)

Proposed Elevations and Floor Plans



REAR ELEVATION (1:100)

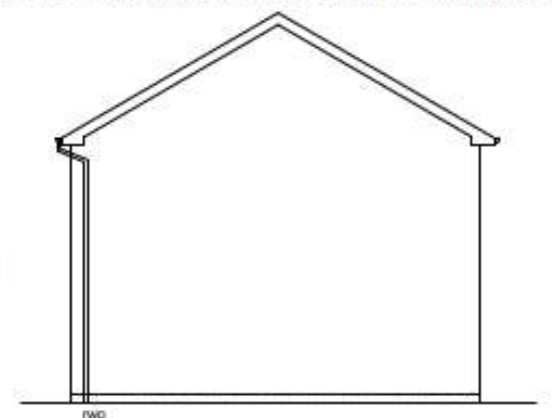


SIDE ELEVATION (1:100)



FRONT ELEVATION (1:100)

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SIDE ELEVATION (1:100)

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