

Planning Committee

Notice of a Meeting, to be held as a **Virtual Meeting** in accordance with Regulation 5 of The Local Authorities and Police and Crime Panels (Coronavirus) (Flexibility of Local Authority and Police and Crime Panel Meetings) (England and Wales) Regulations 2020

A meeting of the committee will be held on:

Date: Wednesday, 14 October 2020

Time: 6.30pm

Venue: Virtual Meeting

Membership: Councillors Adeoye, Barrett, Bhutia, Bowler, Buckwell, Mrs Diane Chambers (Chairman), Curry, Etheridge, Sylvia Griffin, Hubbard, McDonald, Potter, Chrissy Stamp, Thorne and Tranter (Vice-Chairman, in the Chair)

Agenda

(B) Additional Information - Presentation

**(Pages 3
- 64)**

For further information please contact Ellen Wright, Democratic Services Officer on Telephone: 01634 332012 or Email: democratic.services@medway.gov.uk

Date: 14 October 2020

Information about this virtual meeting

Please note that any member of the press and public may follow proceedings at this 'virtual' meeting via a weblink which will be publicised on the Council's website ahead of the meeting. Please refer to this meeting via the meeting calendar for further details:

<https://democracy.medway.gov.uk/mgCalendarMonthView.aspx?GL=1&bcr=1>

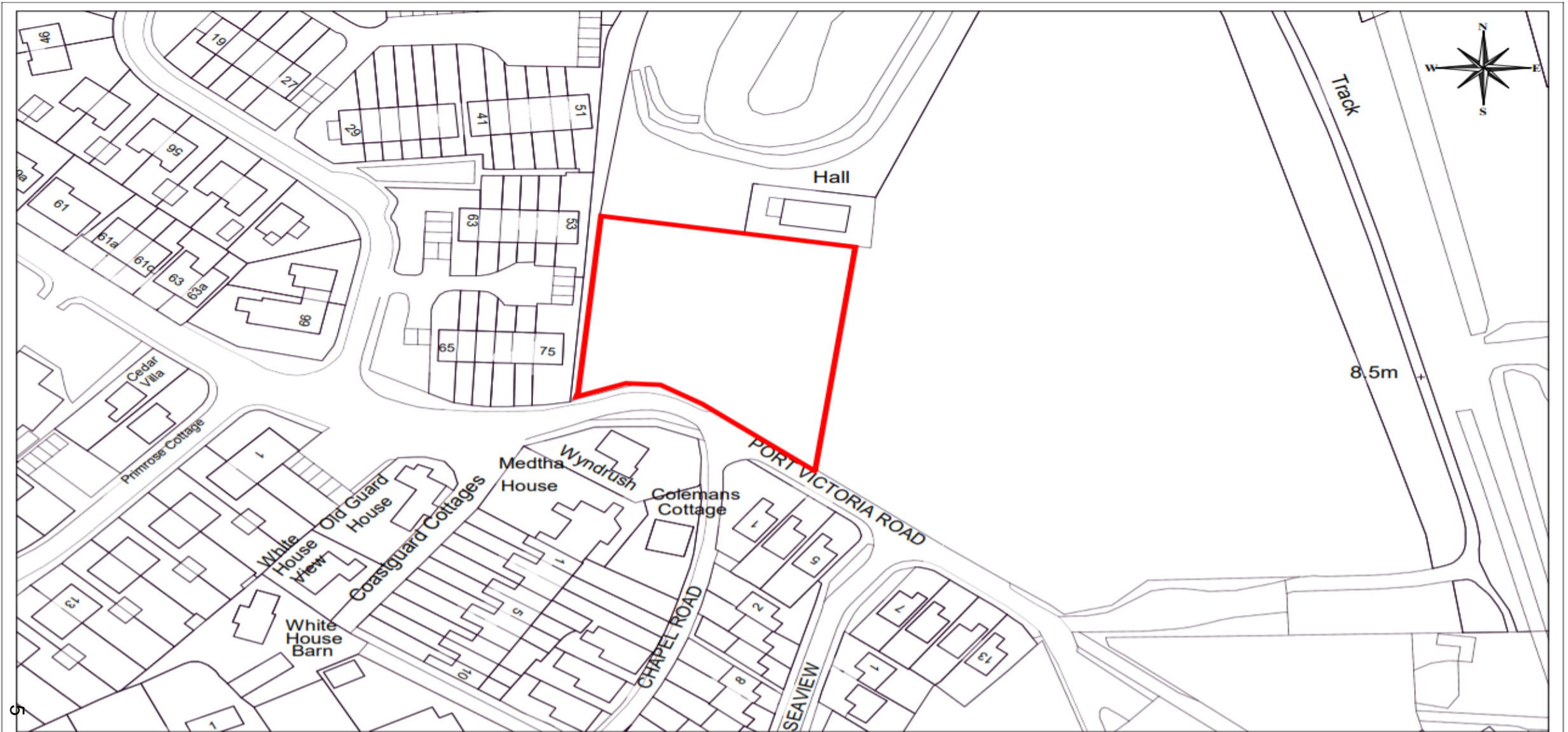
Members of the press and public may tweet, blog etc. during the live broadcast as they would be able to during a regular Committee meeting.

PLANNING COMMITTEE

14TH OCTOBER 2020

MC/20/1973

Land at Port Victoria Road , Isle of Grain



Title: MC/20/1973 Land at Port Victoria Road Isle of Grain



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Metres



Scale: 1:1250 01/10/20

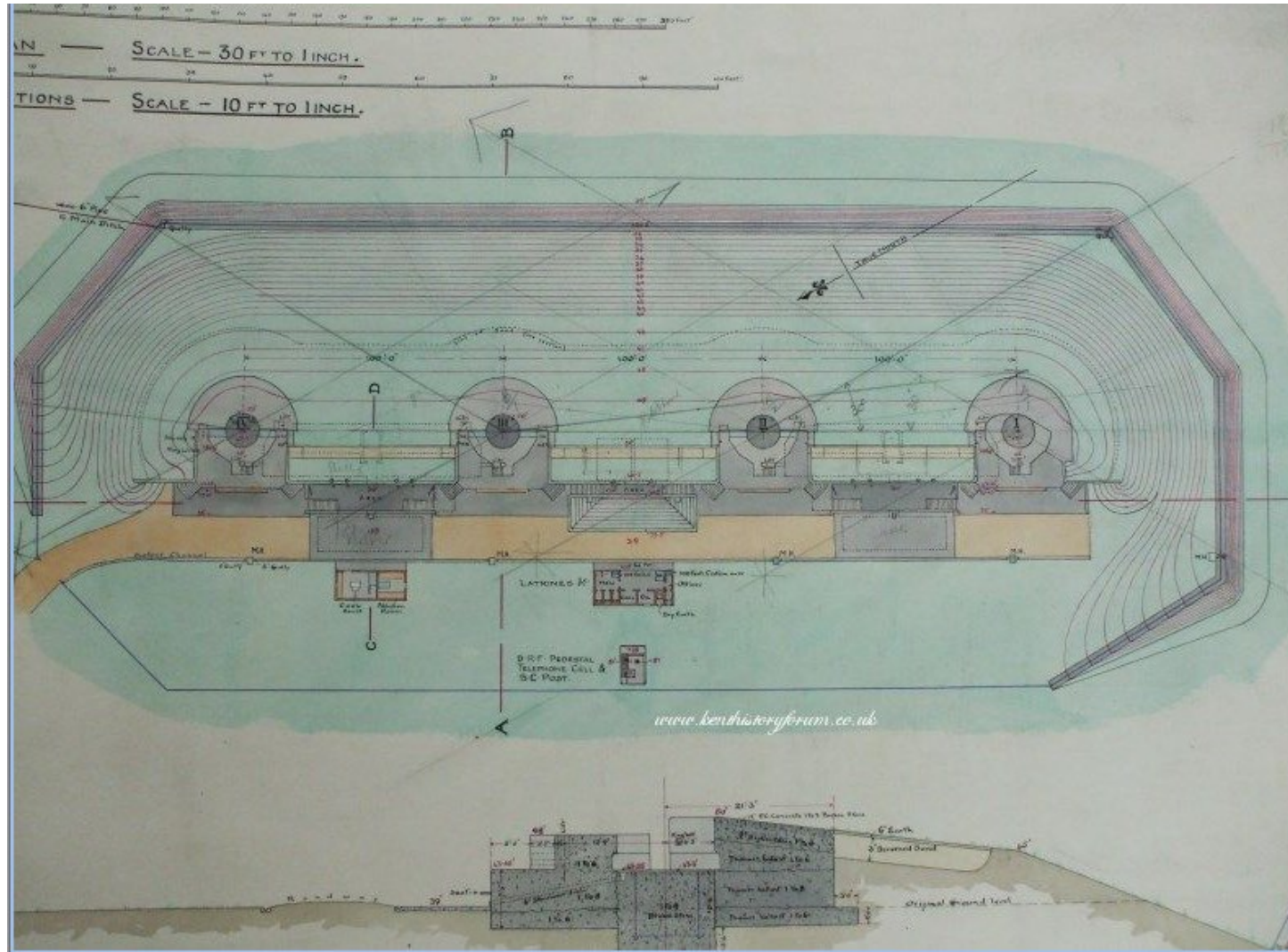
© Medway Council, 2020

Aerial photo of the application site and its surrounding

9



Drawing of New Grain Battery



1946 Aerial photo New Grain Battery, scheduled monuments to the north and the surrounding



1960 Aerial photo, New Grain Battery, the application site south of scheduled monuments and the surrounding



1990 Aerial photo of the application site, scheduled monuments to the north and the surrounding



Application site and the Cadet building to the north



Army cadets building



View toward northwest and the application site and the Cadets building is visible in the gap



View toward northeast and the application site

14



Port Victoria Road Street scene, amenity land and application site to the right



Proposed site layout refused July 2020



NOTES:
 THIS DRAWING SHALL NOT BE REPRODUCED.
 ALL BUILDINGS SHALL CONFORM WITH THE CURRENT BUILDING REGULATIONS, THE RELEVANT NATHER STANDARDS, CODES OF PRACTICE AND ALL RELEVANT STATUTORY REGULATIONS. ALL MATERIALS AND WORKMANSHIP SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH RELEVANT NATHER STANDARDS AND MANUFACTURERS SPECIFICATIONS.

ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED ON-SITE PRIOR TO COMMENCEMENT OF WORK.

ALL ELECTRICAL WORKS TO COMPLY WITH CURRENT IEE REGULATIONS.

SEE ALSO RELEVANT DRAWINGS FROM ANY SPECIALIST WORK OR STRUCTURAL DETAILS.

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PROJECT:
 NEW RESIDENTIAL DEVELOPMENT
 PORT VICTORIA ROAD
 ISLE OF GRAIN
 KENT

SCALE 1:500 & 1:1250@ A1

SITE PLAN AS PROPOSED

PURPOSE: PLANNING
 DATE: DEC 18 DWG NO. 1377 002E

© MSD ARCHITECTS

Proposed site layout for 5 dwellings



Indicative Street elevation



ALL BUILDING WORKS SHALL COMPLY WITH THE CURRENT BUILDING REGULATIONS, THE RELEVANT BRISBANE STANDARD CODES OF PRACTICE AND ALL RELEVANT LOCAL REGULATIONS. ALL MATERIALS AND WORKMANSHIP SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH RELEVANT BRISBANE STANDARD AND MANUFACTURER'S SPECIFICATION.

ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.

ALL ELECTRICAL WORKS TO COMPLY WITH CURRENT RE REGULATIONS. SEE ALSO RELEVANT DIMENSIONS FOR ANY SPECIAL WORK OR STRUCTURAL DETAILS.

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PROJECT:
NEW RESIDENTIAL DEVELOPMENT
PORT VICTORIA ROAD
ISLE OF GRAIN
KENT

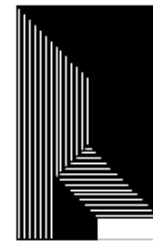
SCALE 1:500, 1:1250, 1:100 @ A1

SITE LOCATION PLANS & STREET SCENE

Indicative, plots 1&3 layout and elevation house design

PLANS & ELEVATIONS PLOT 1 & 3 PLANNING DRAWING

1. Existing
 2. New and Old
 3. New (to be) areas & additions
 4. Old (to be) areas & deletions
 5. Through-roof access



NOTE:
 THE DRAWING SHALL NOT BE SCALE.
 ALL DIMENSIONS SHALL COMPLY WITH THE CURRENT BUILDING REGULATIONS, THE RELEVANT BRICK ENACTMENTS, CODES OF PRACTICE AND ALL RELEVANT BUILDING REGULATIONS AND MATERIALS AND CONSTRUCTION SHALL BE CARRIED OUT IN ACCORDANCE WITH THE RELEVANT BRICK ENACTMENTS AND MANUFACTURER'S SPECIFICATIONS.
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 ALL DIMENSIONS SHALL COMPLY WITH CURRENT BUILDING REGULATIONS AND ALL RELEVANT BUILDING REGULATIONS.
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 ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED BY THE CLIENT OR ANOTHER PARTY.
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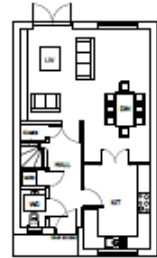
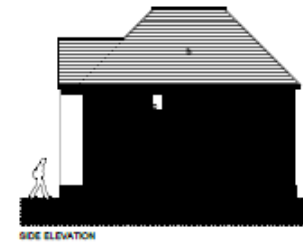
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PROJECT:
 NEW RESIDENTIAL DEVELOPMENT
 PORT VICTORIA ROAD
 ISLE OF GRAIN
 KENT
SCALE 1:500 & 1:100@ A1
PLANS & ELEVATIONS
PLOT 1 & 3
PURPOSE: PLANNING
DATE: JULY 20 DWG NO. 1377 P103B
 © MSD ARCHITECTS

ALL DIMENSIONS TO BE CHECKED AND CONFIRMED ON SITE SUBJECT TO PLANNING & BUILDING CONTROL APPROVAL.

Indicative, plots 2, 4 & 5 layout and elevation house design

PLANS & ELEVATIONS PLOT 2, 4 & 5 PLANNING DRAWING

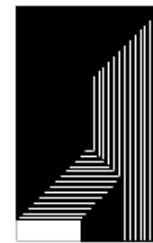
- 1. Proposed
- 2. Existing
- 3. Proposed extension
- 4. Proposed demolition
- 5. Through plot area



1:100
0 20 40 60 80 100



1:100
0 20 40 60 80 100



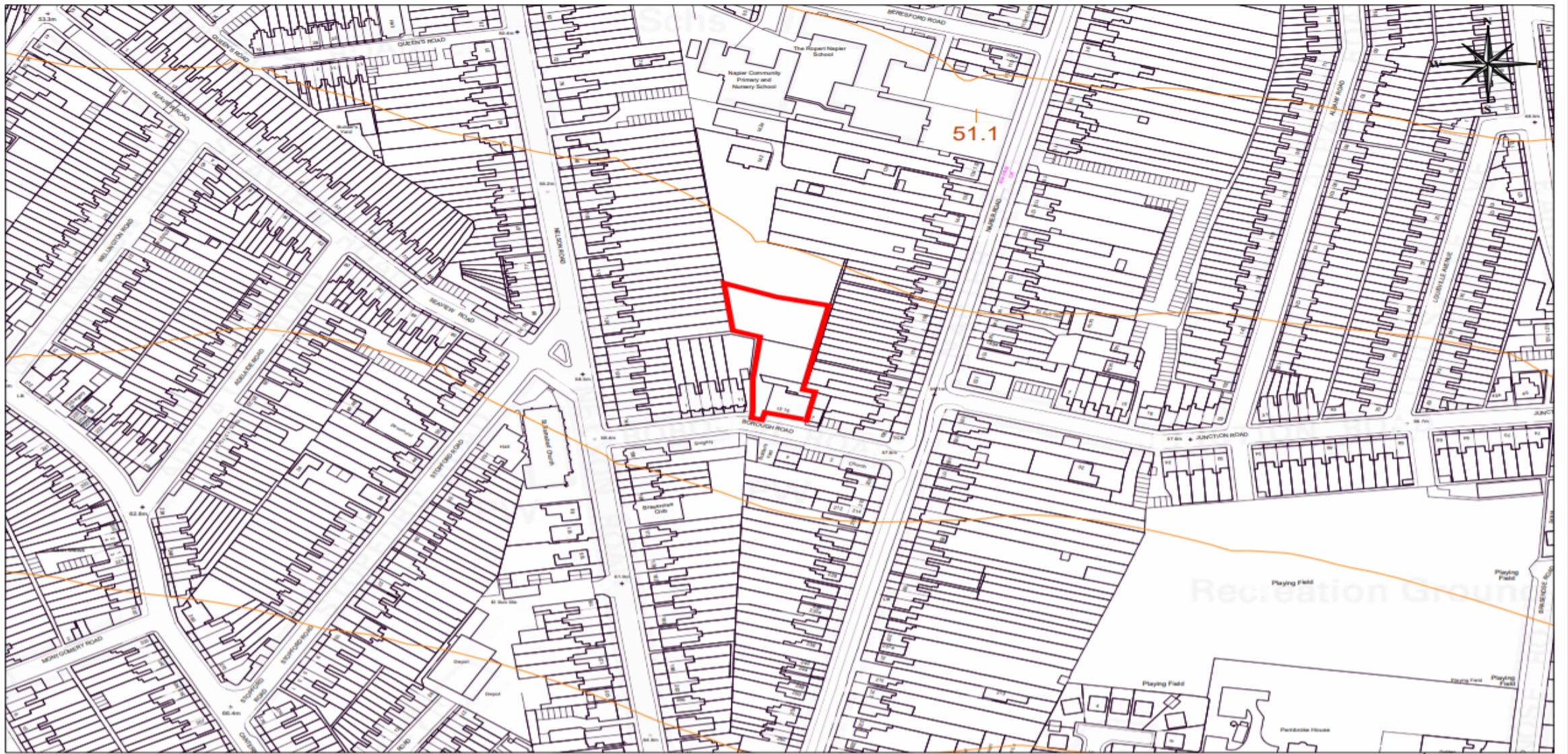
NOTES:
 THE DRAWING SHALL NOT BE SCALED.
 ALL MEASUREMENTS SHALL COMPLY WITH THE CURRENT BUILDING REGULATIONS. THE MEASUREMENT SHALL BE TO THE FACE OF THE WALLS AND ALL MEASUREMENTS SHALL BE TO THE FACE OF THE WALLS UNLESS OTHERWISE SPECIFIED.
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 ALL ELECTRICAL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS OR AS SPECIFIED IN THE DRAWING.
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PROJECT:
 NEW RESIDENTIAL DEVELOPMENT
 PORT VICTORIA ROAD
 ISLE OF GRAIN
 KENT
 SCALE 1:500 & 1:100@ A1
 PLANS & ELEVATIONS
 PLOT 2, 4 & 5
 PURPOSE: PLANNING
 DATE: JULY 20 DWG NO. 1377 P1028

MC/20/1193

Former Timber Merchants , Land behind
13-15 Borough Road Gillingham



MC/20/1193 - Former Timber Merchants And Land Behind 13-15 Borough Road, Gillingham



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The site (roofs of six of the constructed houses can be seen)



Towards 17 Borough Road



View from access to semi detached dwellings constructed at the rear of the site



Site layout of the amended proposed development and previously proposed

Proposed layout

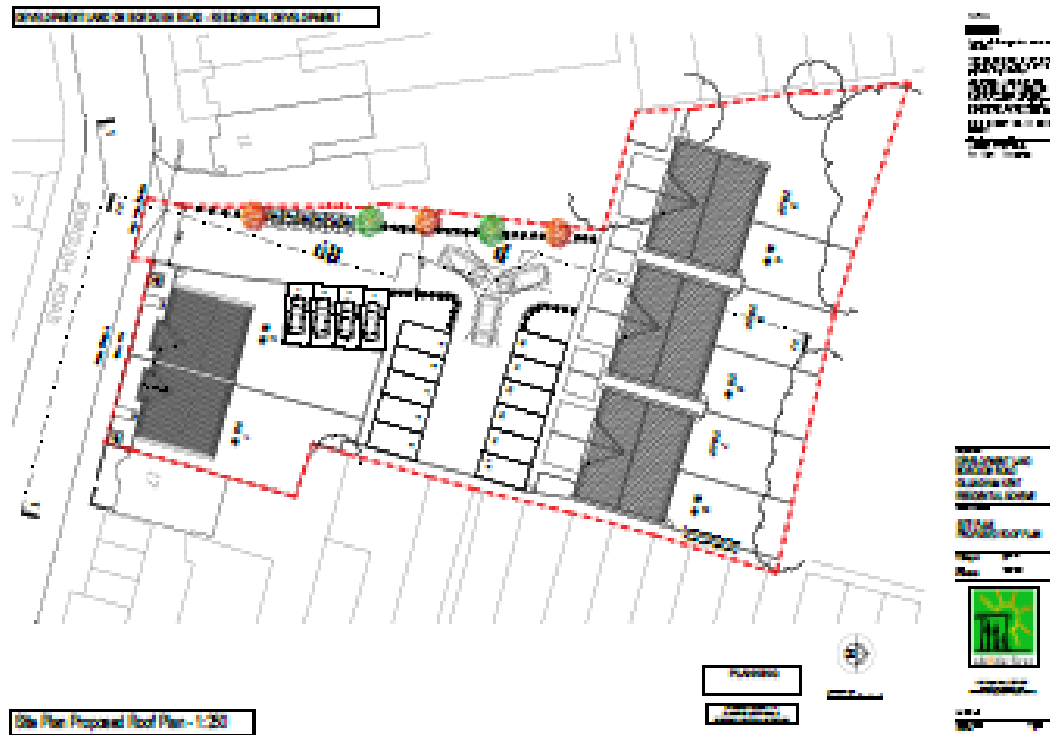


Previous layout

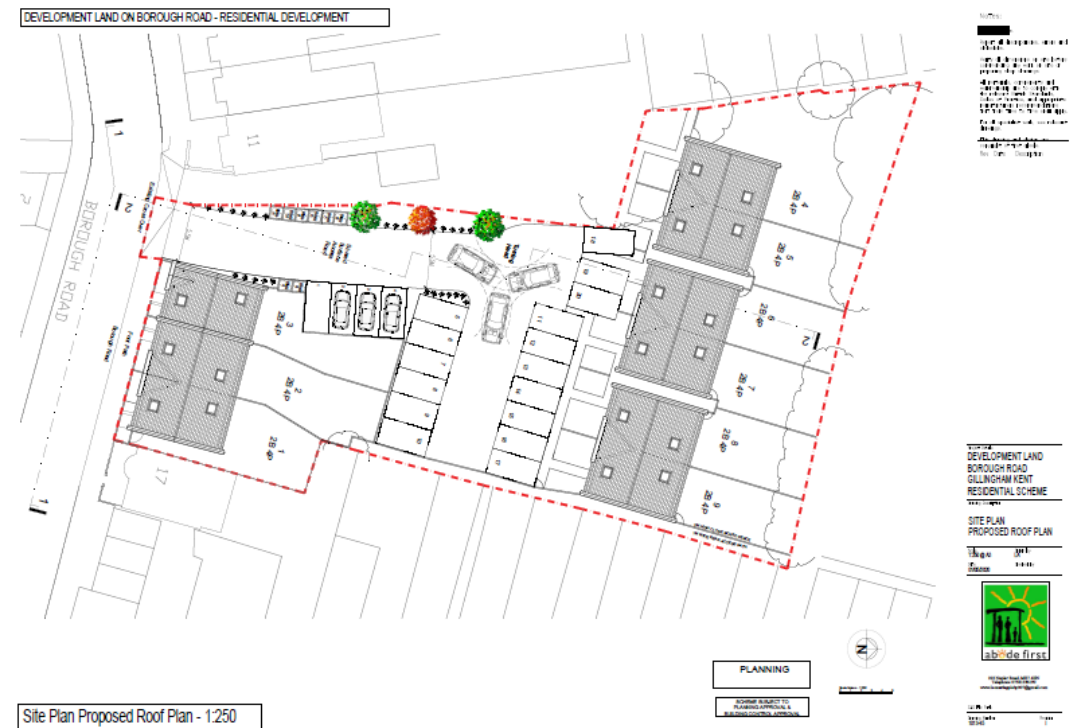


Roof plan of the amended proposed development and previously proposed

Proposed roof plan

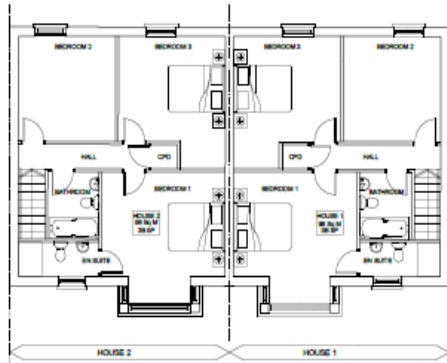


Previous roof plan

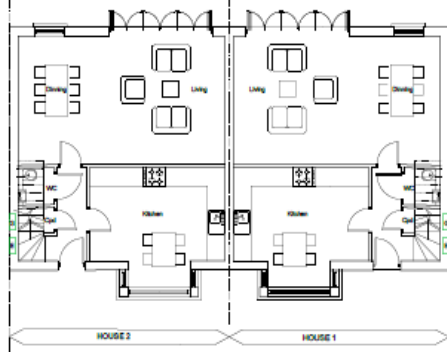


Floor layout and elevations of houses fronting Borough Road

DEVELOPMENT LAND ON BOROUGH ROAD - RESIDENTIAL DEVELOPMENT

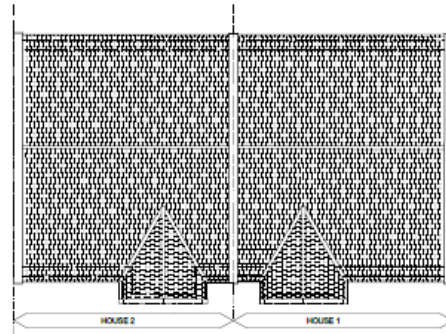


First Floor



Ground Floor

Proposed Plans - Houses 1 & 2 - 1:100



Roof Plan

Notes:
1. All dimensions are in meters unless otherwise stated.
2. All dimensions are to the center of the wall unless otherwise stated.
3. All dimensions are to the finished floor level unless otherwise stated.
4. All dimensions are to the finished ground level unless otherwise stated.
5. All dimensions are to the finished ceiling level unless otherwise stated.
6. All dimensions are to the finished floor level unless otherwise stated.

Scale Meters - 1:100

PLANNING
SUBJECT TO PLANNING PERMISSION AND BUILDING CONTROL APPROVAL



DEVELOPMENT LAND
BOROUGH ROAD
GILLINGHAM KENT
RESIDENTIAL SCHEME

PROPOSED PLANS
HOUSES 1 & 2

Scale: 1:100
Date: 10/01/2024

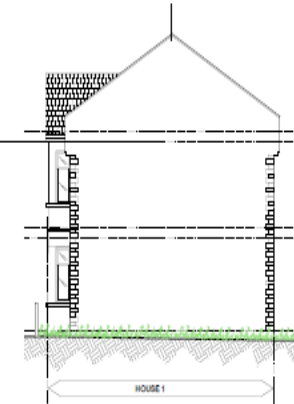


10/01/24
10/01/24

DEVELOPMENT LAND ON BOROUGH ROAD - RESIDENTIAL DEVELOPMENT



Front Elevation (Borough Road)



Side Elevation 1



Rear Elevation

Proposed Elevations - Houses 1 & 2 - 1:100

Notes:
1. All dimensions are in meters unless otherwise stated.
2. All dimensions are to the center of the wall unless otherwise stated.
3. All dimensions are to the finished floor level unless otherwise stated.
4. All dimensions are to the finished ground level unless otherwise stated.
5. All dimensions are to the finished ceiling level unless otherwise stated.
6. All dimensions are to the finished floor level unless otherwise stated.

Scale Meters - 1:100

PLANNING
SUBJECT TO PLANNING PERMISSION AND BUILDING CONTROL APPROVAL

DEVELOPMENT LAND
BOROUGH ROAD
GILLINGHAM KENT
RESIDENTIAL SCHEME

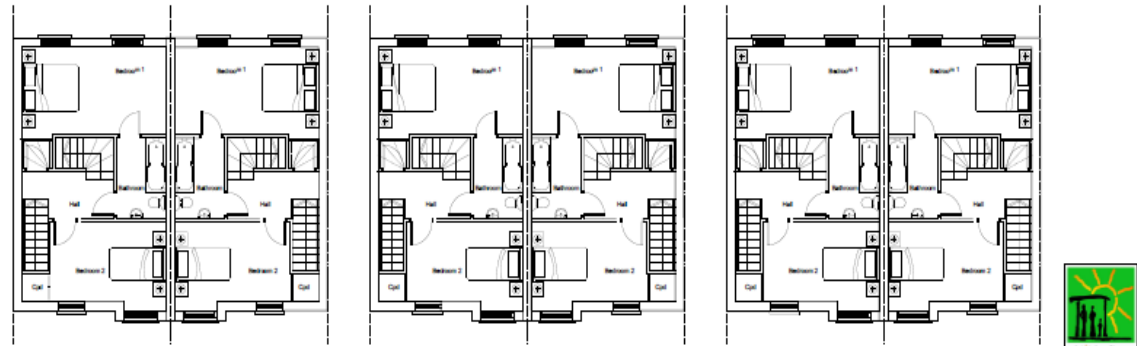
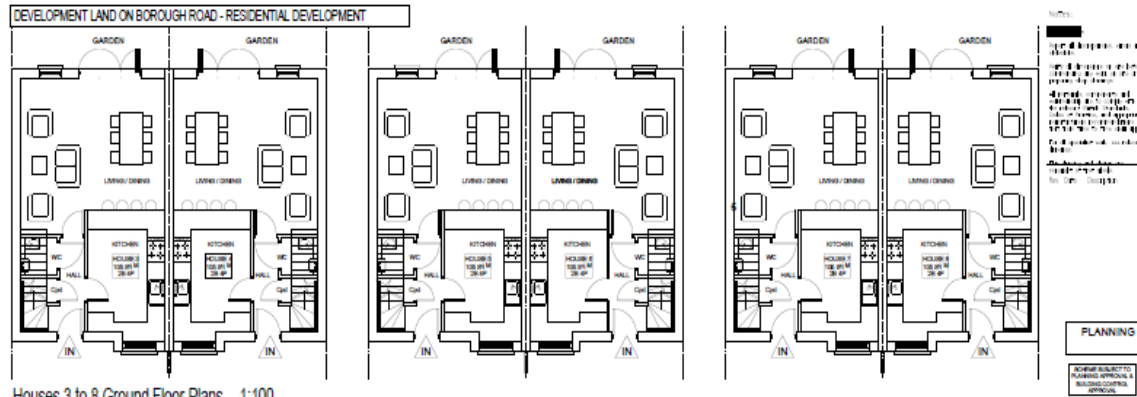
PROPOSED ELEVATIONS
HOUSES 1 & 2

Scale: 1:100
Date: 10/01/2024



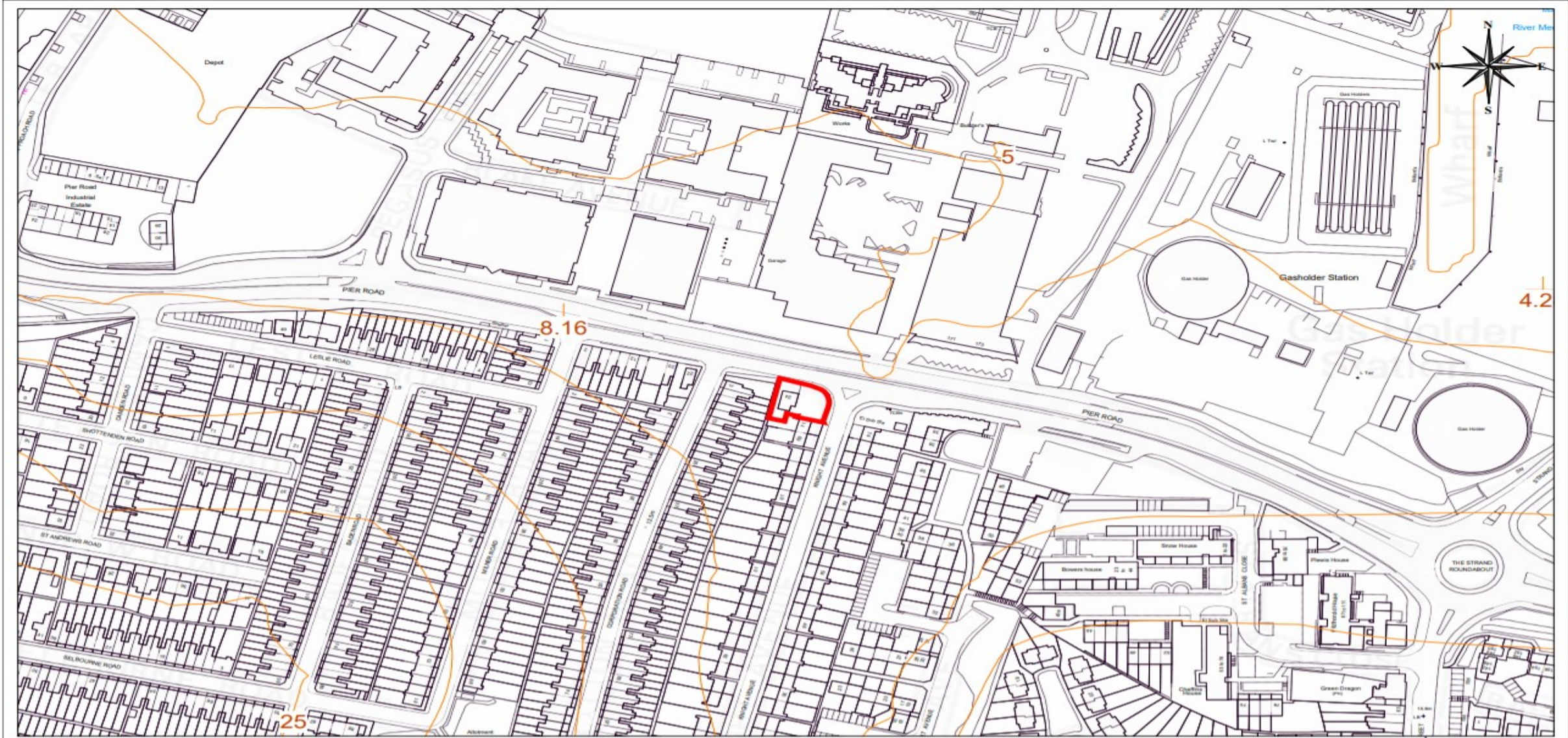
10/01/24
10/01/24

Floor layout and elevations of houses to the rear of the site



MC/20/1115

24 Pier Road Gillingham



MC/20/1115 - 24 Pier Road Gillingham ME7 1RJ



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Scale: 1:2500 01/09/20
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Street View from Pier Road (site behind green shrub)



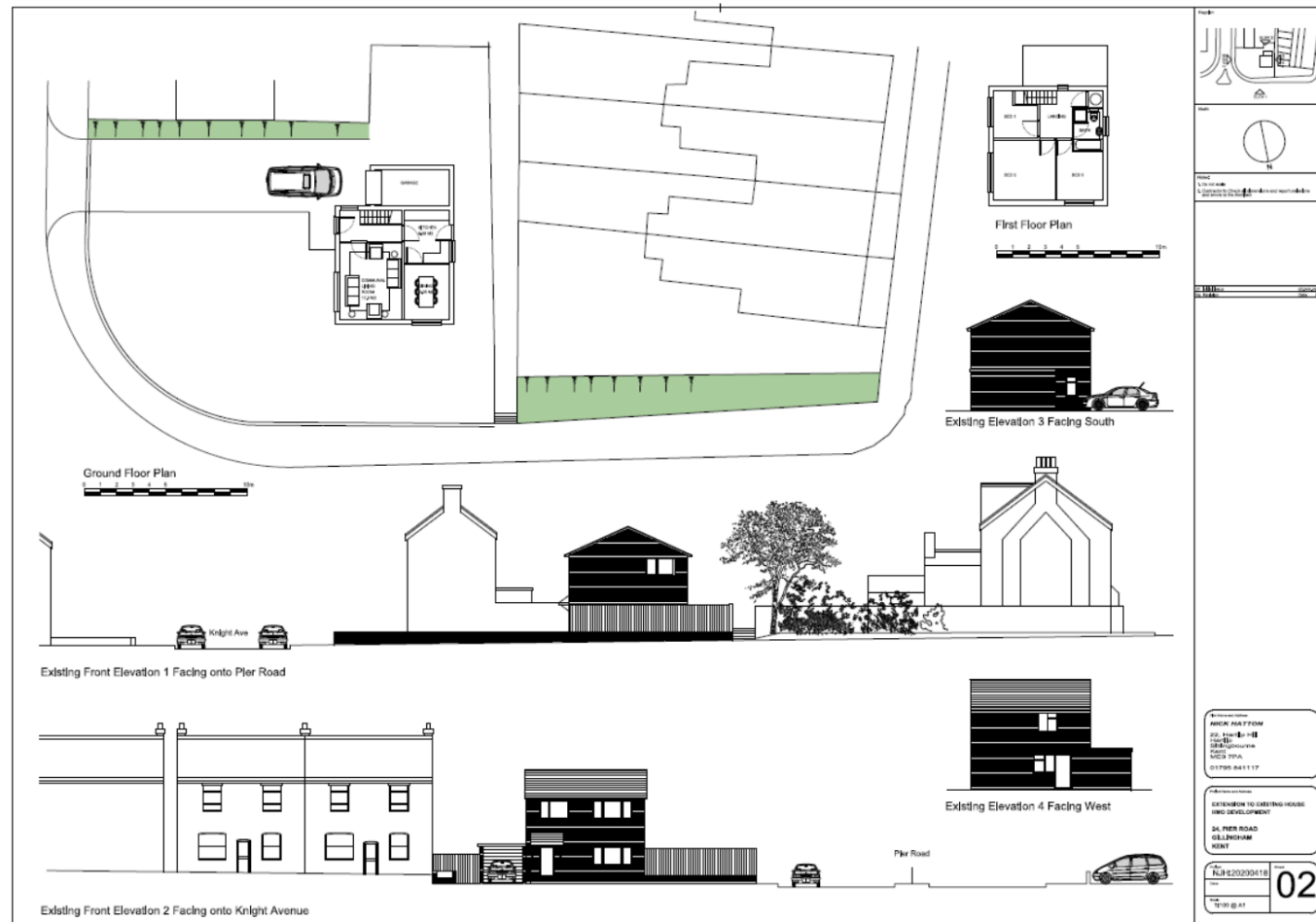
Site viewed on Knight Avenue with relationship to existing student accommodation on Pier Road



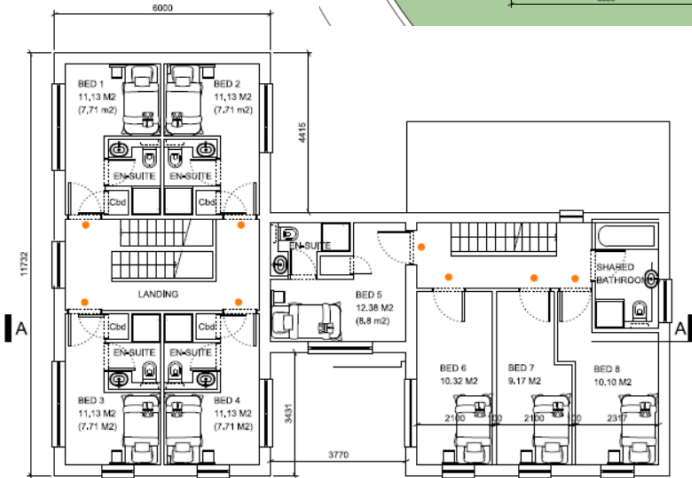
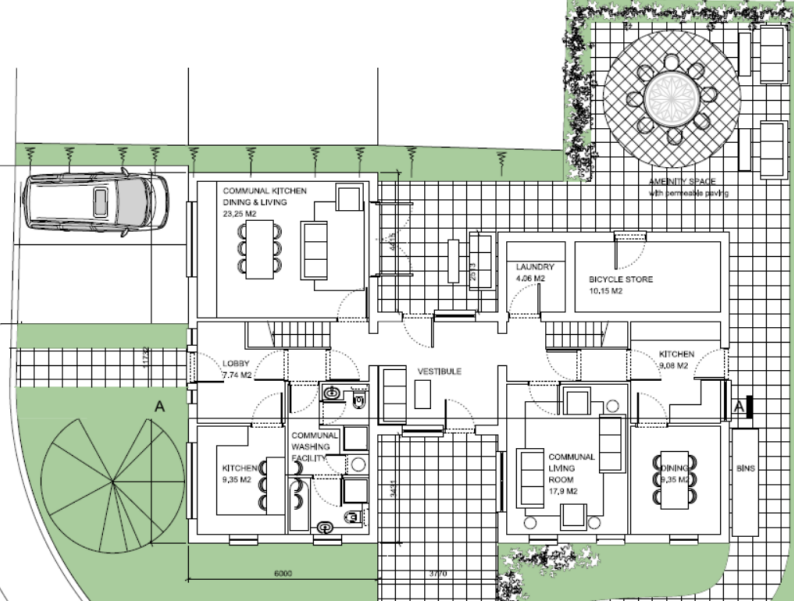
Relationship to 71 Knight Avenue



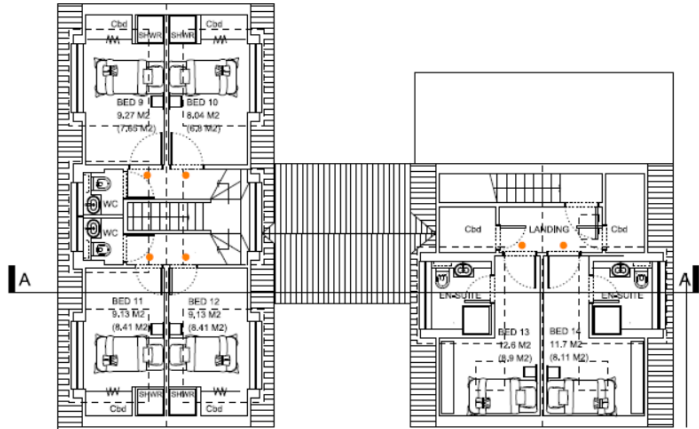
Existing Block/Floor and Elevations



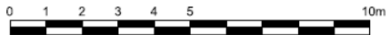
Just Floor Plans



Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Elevations



3D Visuals



VIEW A



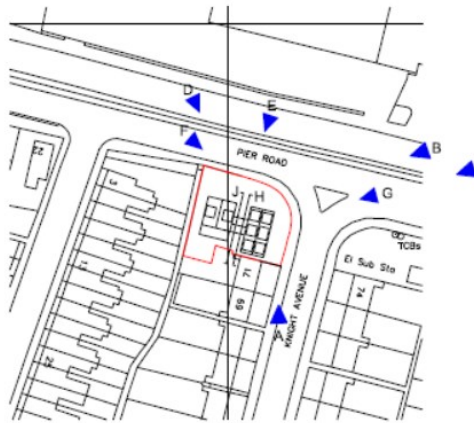
VIEW B



VIEW C



VIEW D



KEY PLAN FOR VIEWS



VIEW E



VIEW F



VIEW G



SECTIONAL ELEVATION H



SECTIONAL ELEVATION J

Scale: 1" = 100'

Revision B - Adjusted to CA comments
 Revision A - Village Indigo project by 2020s

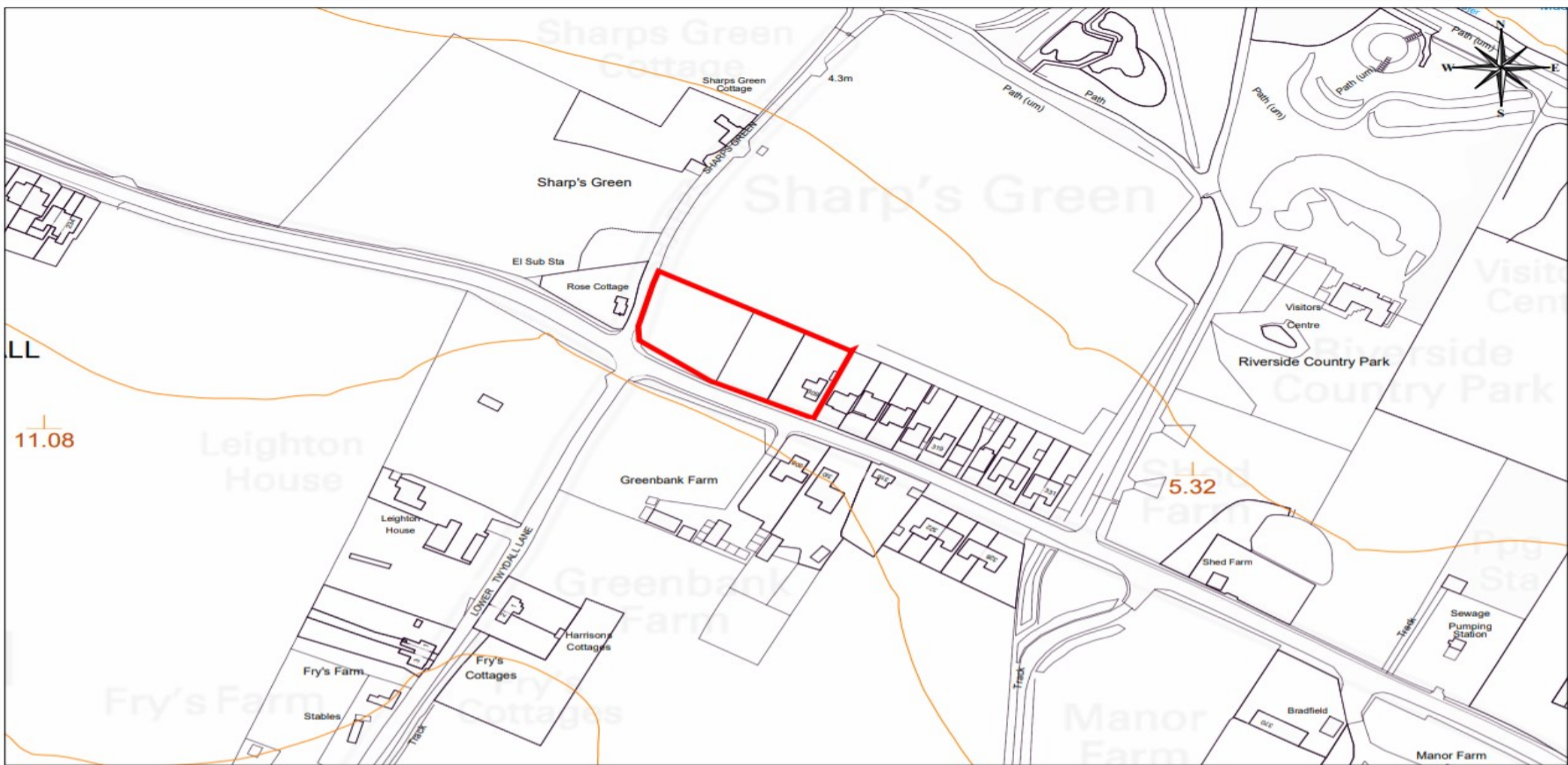
ARCHITECT
ARCHITECTURE
 222 N. Main St. #110
 Raleigh, NC 27601
 919.833.1111

ARCHITECT
**EXTENSION TO EXISTING HOUSE
 HMO DEVELOPMENT**
 24 PIER ROAD
 WELLSBORO
 MA 01098

Project No. **20200418**
 Date **06/11/2020**
 Scale **1/8" = 1'**
 Revision **06**

MC/20/1025

309 Lower Rainham Road Rainham



Title: MC/20/1025 - 309 Lower Rainham Road Rainham



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Metres



Scale: 1:2500 01/10/20

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The site looking towards 309 Lower Rainham Road



The site from Sharpes Green



Part of the site and 309 Lower Rainham Road



The site looking west



The site from the Country Park



The site from the Country Park



Existing block plan

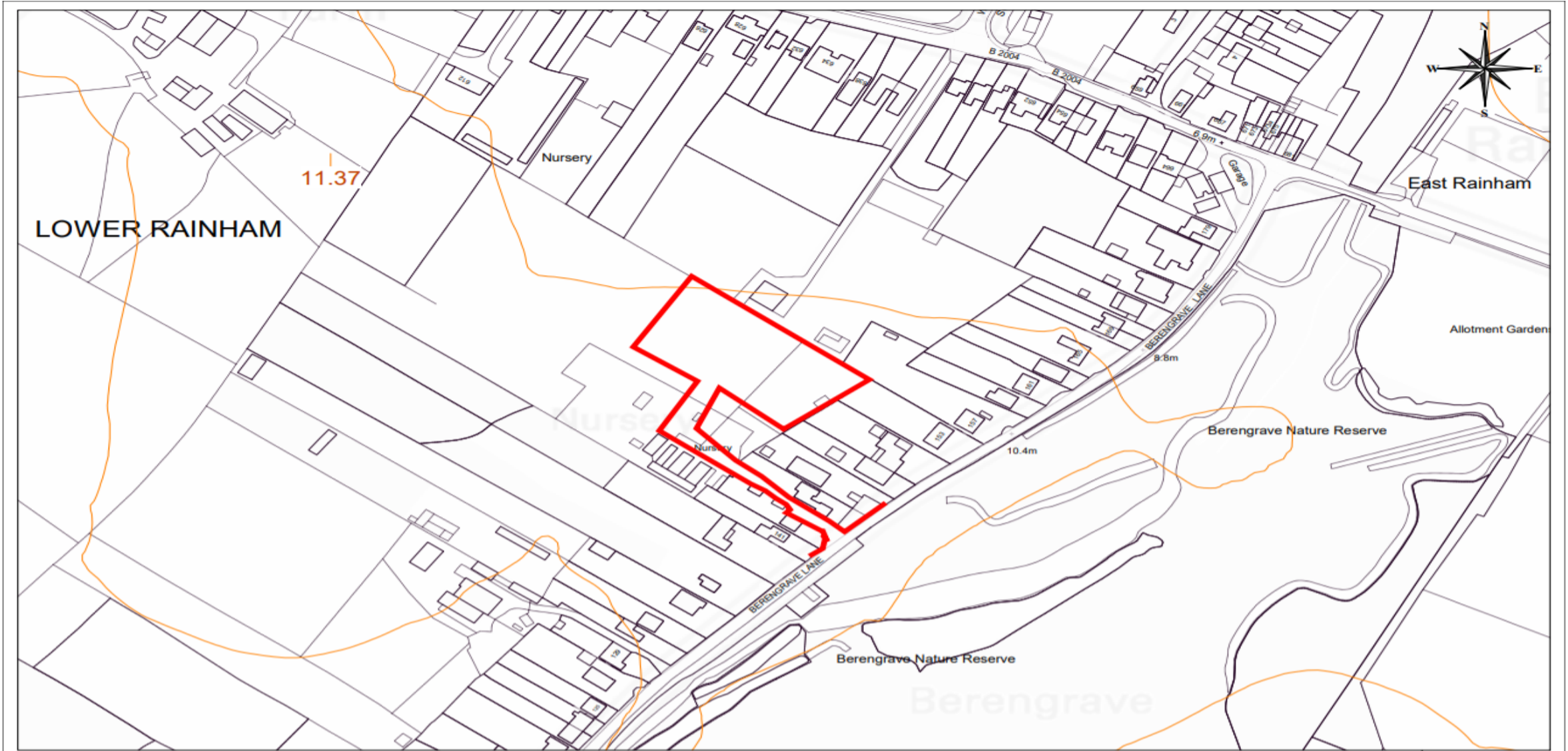


Indicative layout



MC/20/1319

Land off 143 Berengrave Lane Rainham Kent



Title: MC/20/1319 - Land off 143 Berengrave Lane Rainham



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Scale: 1:2500 01/10/20

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Application site

52



Site Location Plan (1:1250)

Aerial photo of the application site and its immediate surrounding



Aerial photo of the application site and its wider surrounding

54



View up the existing access drive to the nursery



View towards south from the proposed access junction on the right

56



View towards north from the proposed access junction on the left



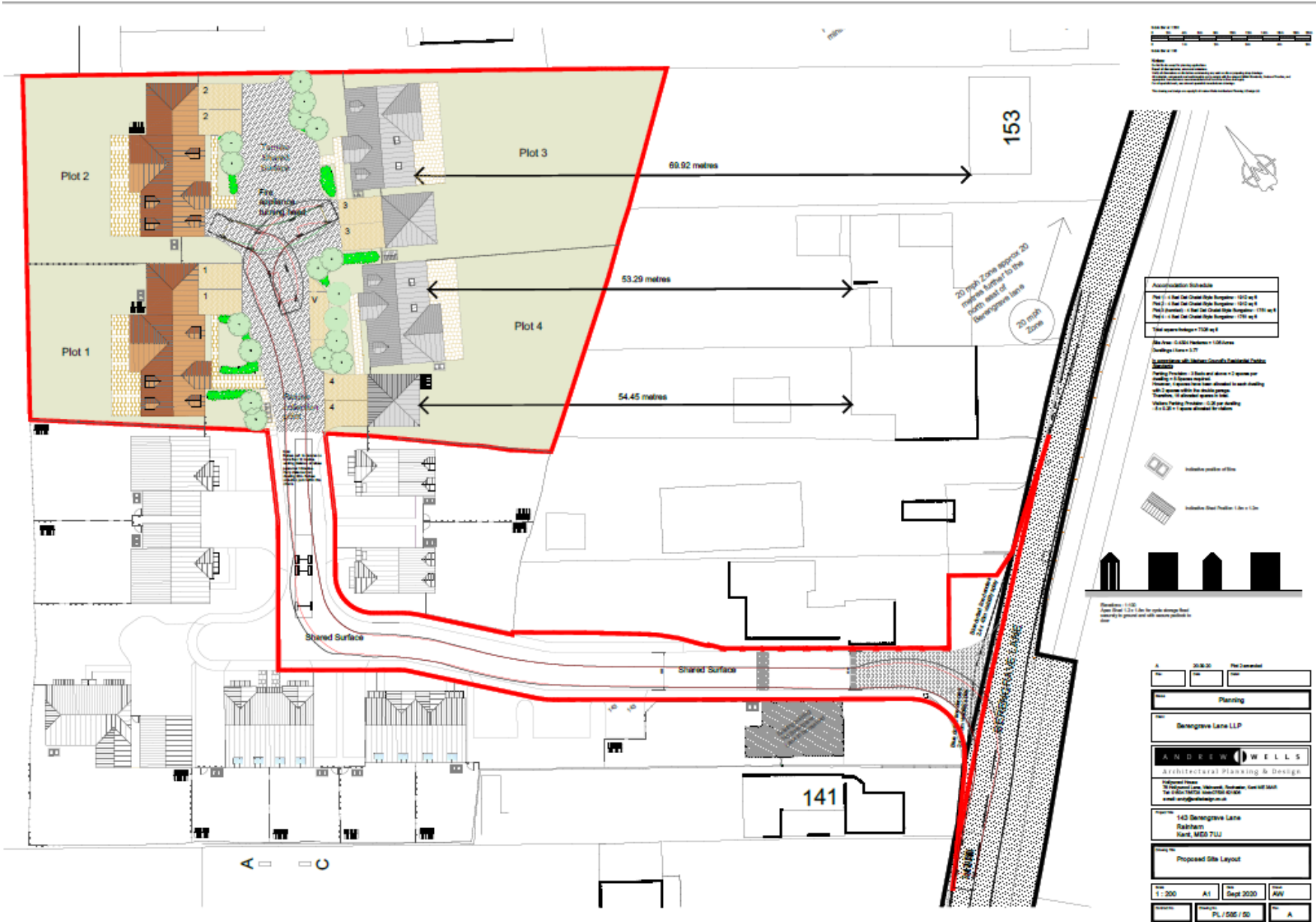
Mixed local house design and street character



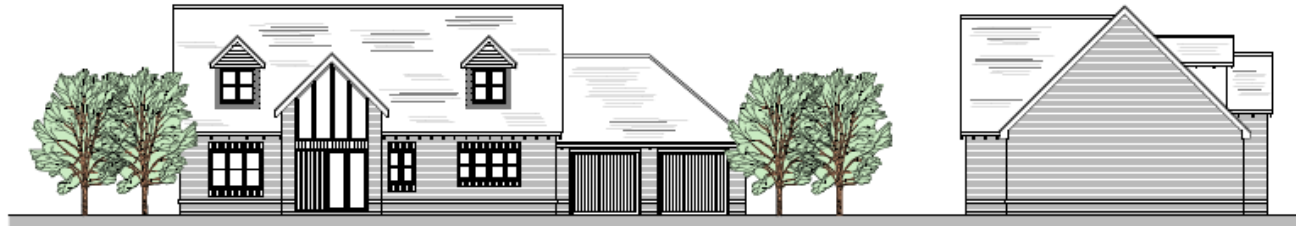
Site layout as originally proposed for 8 houses in colour and grey house layout to the south are the dwellings approved under MC/18/3168



Revised proposed layout for four detached chalet dwellings with associated garage buildings and access



Four bed chalet design with attached double garage, plots 1 & 2



Front Elevation - Plots 1 & 2

Side Elevation - Plots 1 & 2



NOTES:
 1. All work shall be in accordance with the Building Regulations.
 2. All work shall be in accordance with the relevant British Standards.
 3. All work shall be in accordance with the relevant local authority requirements.
 4. All work shall be in accordance with the relevant local authority requirements.
 5. All work shall be in accordance with the relevant local authority requirements.

Typical Materials - Subject to Final approval

- Concrete plain roof tiles plots 1 & 2
- Slate roof tiles plots 3 & 4
- White PVC-u soffits and fascias
- Black plastic rainwater goods
- Concrete plain vertical tiles hanging with feature tiles
- Facing brickwork
- Concrete plain roof tiles to porch to match existing
- Contrasting facing brickwork

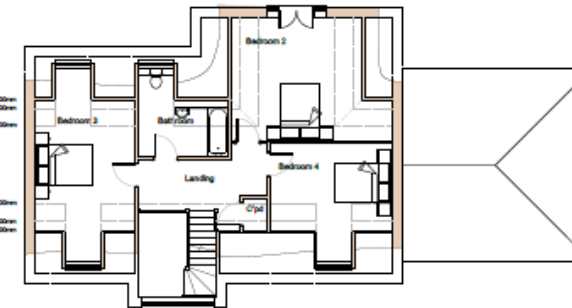


Rear Elevation - Plots 1 & 2

Side Elevation - Plots 1 & 2



Ground Floor Plan - Plots 1 & 2
 100.39 sq m (1080 sq ft)
 Total Floor Area = 177.62 sq m = 1912 sq ft



First Floor Plan - Plots 1 & 2
 77.23 sq m (831 sq ft)

A	20/09/20	Plot 2 added
Rev	Date	Desc
Rev		
Planning		
Client		
Beregrave Lane LLP		
Project Title		
143 Beregrave Lane Rainham Kent, ME8 7UJ		
Drawing Title		
Plots 1 & 2		
Scale	A2	Date
1 : 100	Sept 2020	Drawn
Checked By	Drawn By	Rev
	PL / 585 / 51	A

Three bed chalet design with detached double garage, plots 3 & 4



Front Elevation - Plot 4 - Plot 3 Handed

Side Elevation - Plot 4 - Plot 3 Handed



Notes:
 1. All elevations shall be to existing conditions.
 2. All elevations shall be to existing conditions unless otherwise stated.
 3. All elevations shall be to existing conditions unless otherwise stated.
 4. All elevations shall be to existing conditions unless otherwise stated.
 5. All elevations shall be to existing conditions unless otherwise stated.
 6. All elevations shall be to existing conditions unless otherwise stated.

Typical Materials - Subject to Final approval

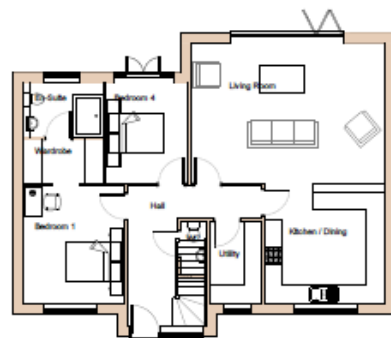
- Concrete plain roof tiles plots 1 & 2
- Slate roof tiles plots 3 & 4
- White PVC-u soffits and fascias
- Black plastic rainwater goods
- Concrete plain vertical tiles hanging with feature tiles
- Facing brickwork
- Concrete plain roof tiles to porch to match existing
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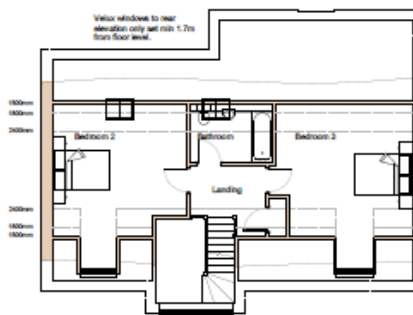
Rear Elevation - Plot 4 - Plot 3 Handed

Side Elevation - Plot 4 - Plot 3 Handed

Typical Section indicating Velux window height at min 1.7m above floor level.



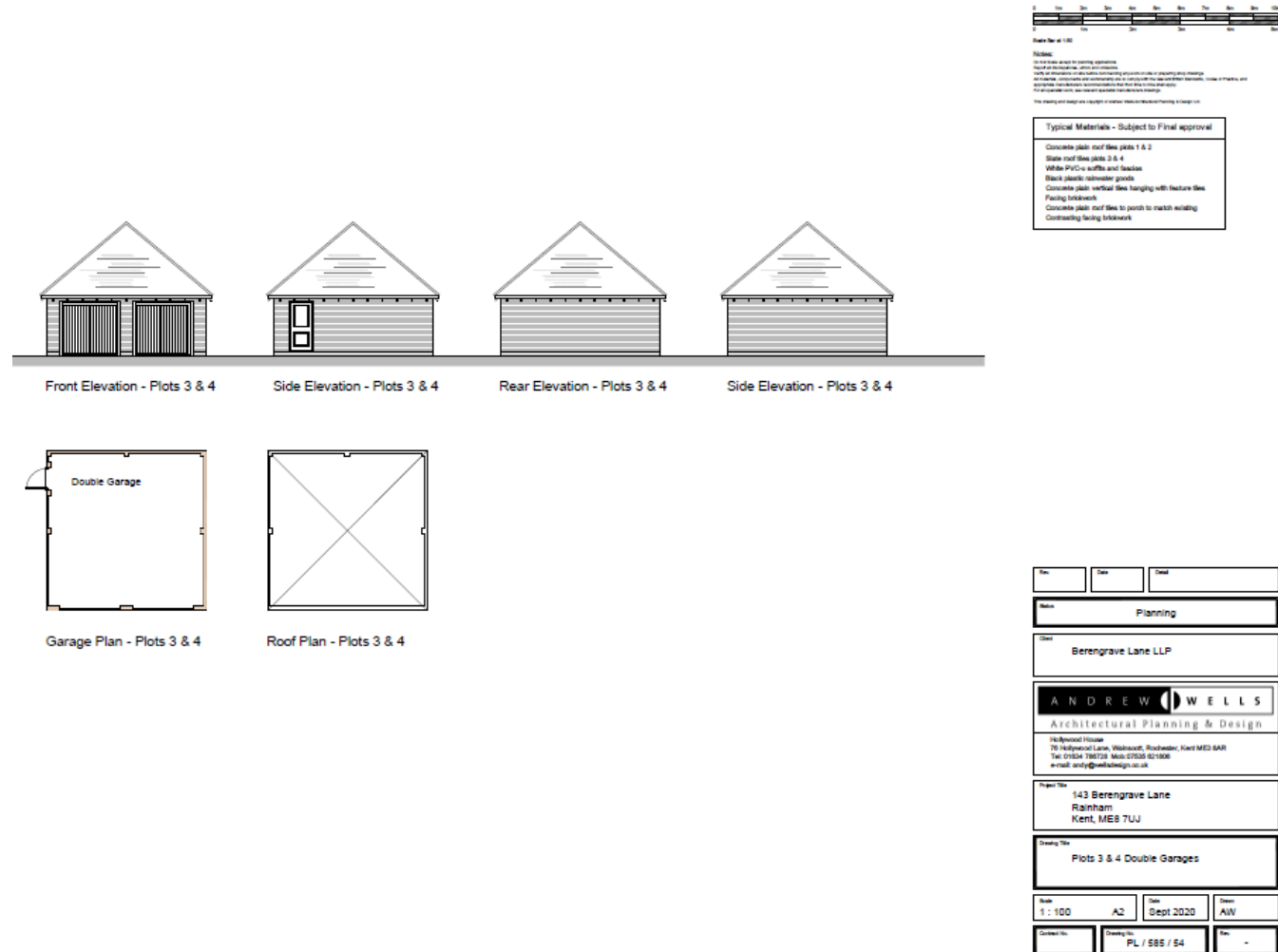
Ground Floor Plan - Plot 4 - Plot 3 Handed
 100.39 sq m (1080 sq ft)
 Total Floor Area = 162.72 sq m = 1751 sq ft



First Floor Plan - Plot 4 - Plot 3 Handed
 62.33 sq m (671 sq ft)

Rev	Date	Desc
None		
Reason: Planning		
Client: Berengrave Lane LLP		
ANDREW WELLS Architectural Planning & Design Holbrook House 75 Holbrook Lane, Whitworth, Rochester, Kent ME3 5AR Tel: 01524 786725 Mob: 07535 621006 e-mail: andy@awdesign.co.uk		
Project Title: 143 Berengrave Lane, Rainham, Kent, ME8 7JU		
Drawing Title: Plots 3 (handed) & 4 as drawn		
Scale: 1:100	A2	Draw: A/W
Client Ref: PL / 585 / 53	Drawn: PL / 585 / 53	Rev: -

Detached doubled garage for plots 3 & 4



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