

Planning Committee – Supplementary agenda

A meeting of the Planning Committee will be held on:

Date: 16 October 2019

Time: 6.30pm

Venue: Meeting Room 9 - Level 3, Gun Wharf, Dock Road, Chatham ME4 4TR

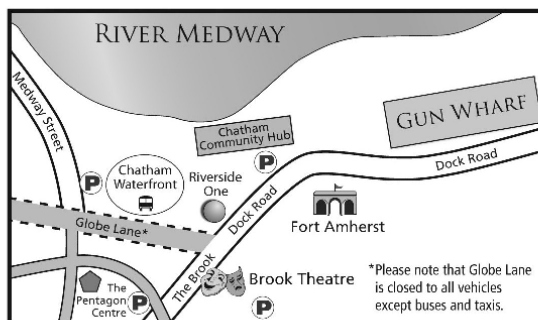
Items

12 Additional Information - Presentation

(Pages
3 - 84)

For further information please contact Ellen Wright, Democratic Services Officer on Telephone: 01634 332012 or Email: democratic.services@medway.gov.uk

Date: 16 October 2019



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available on our website
www.medway.gov.uk

A summary of this information can be made available in other formats from **01634 333333**

If you have any questions about this meeting and you want to speak to someone in your own language please ring **01634 335577**

বাংলা 331780
中文 331781

ગુજરાતી 331782
हिंदी 331783

ਪੰਜਾਬੀ 331784
Polski 332373

کوردی 331841
এহেৎশফব 331786

اروو 331785
فارسی 331840

Русский 332374
Lietuviškai 332372

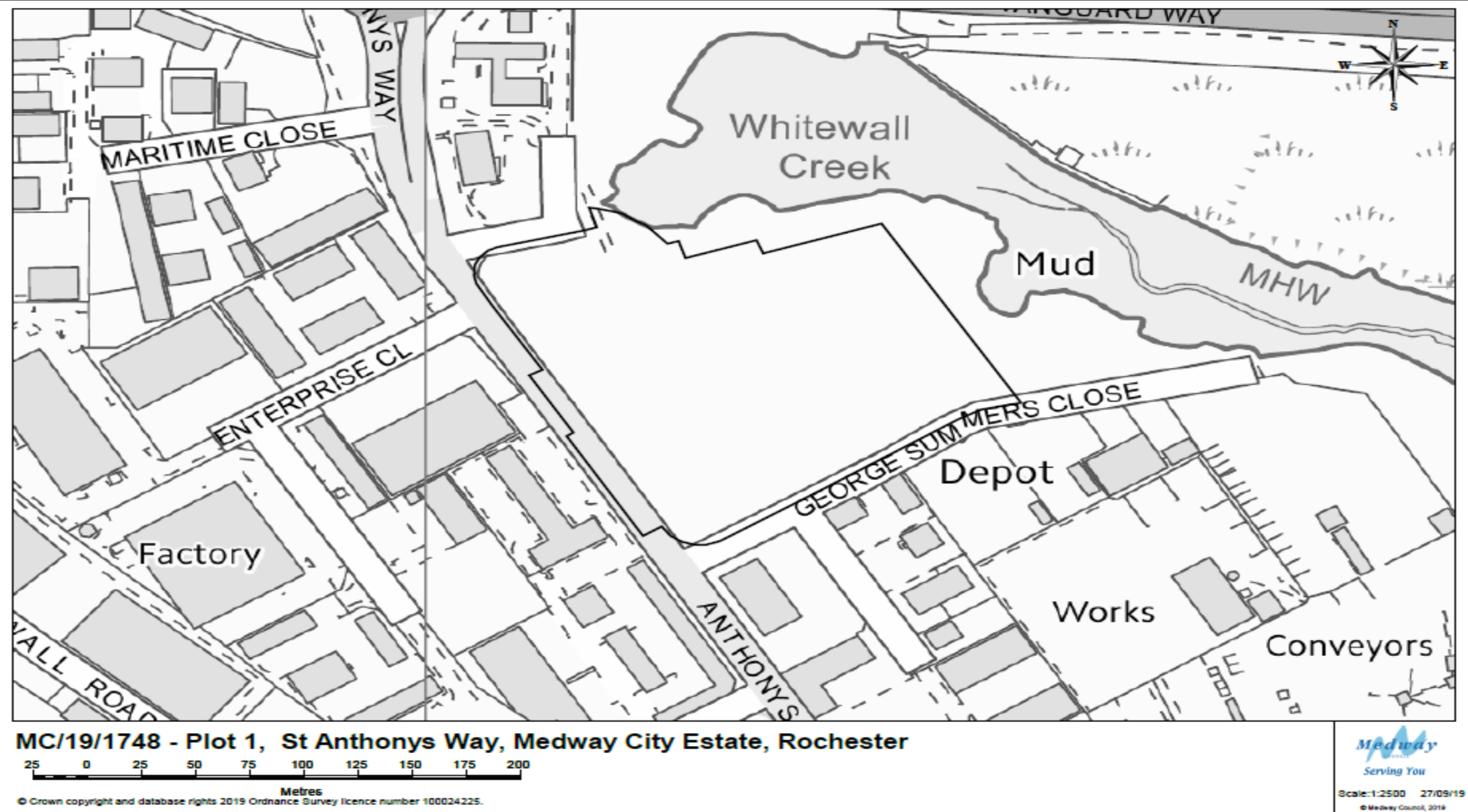
Planning Committee

16 October 2019

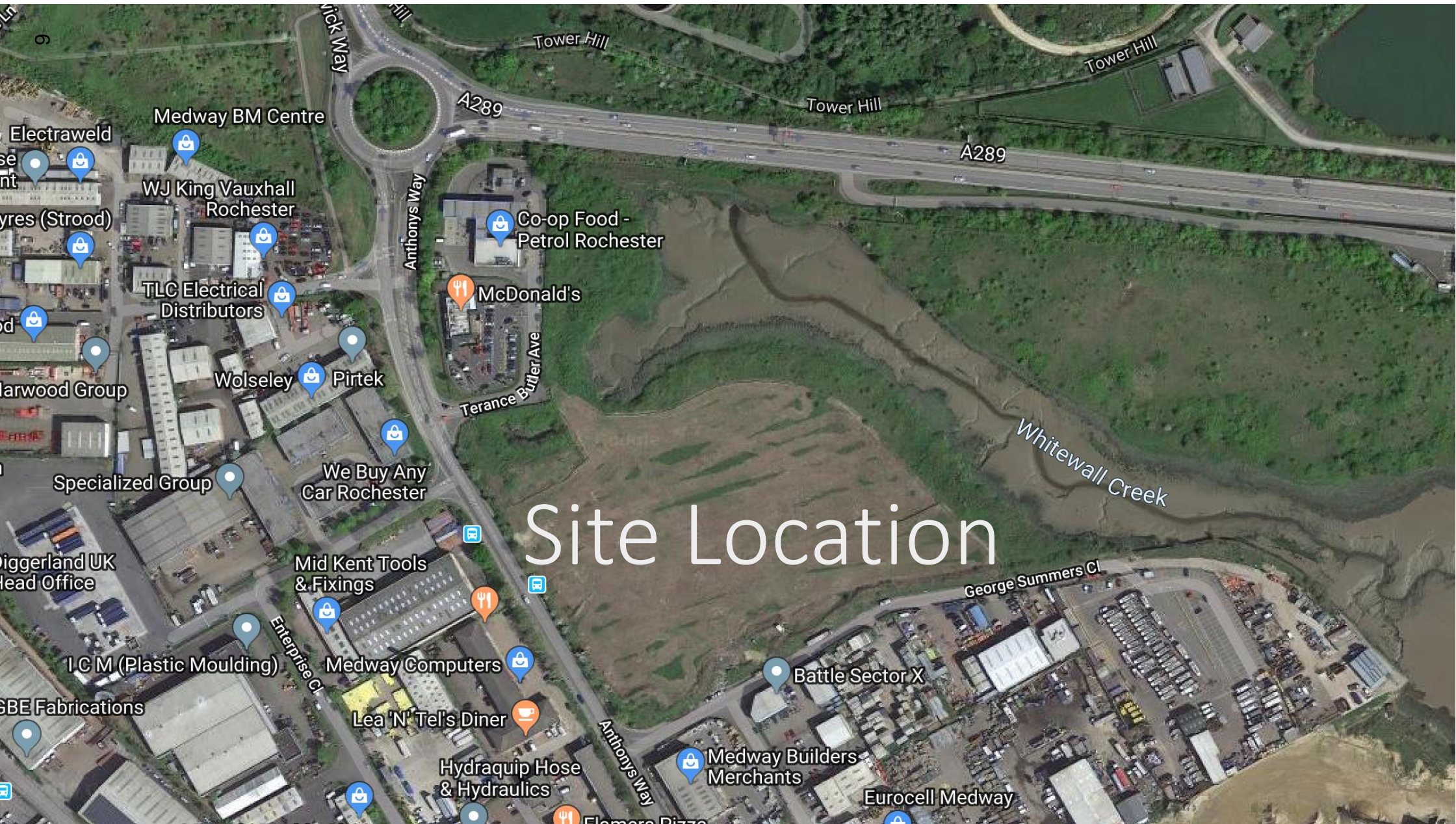
MC/19/1748

Plot 1, Anthony's Way, Medway City Estate,
Rochester

Location plan



Aerial photo showing site location



View East from Anthony's Way, Junction with Terrence Butler Avenue (McDonalds and Co-op to left)



∞ View South from Terrence Butler Avenue



View West Along Terrence Butler Ave, site to left,
McDonalds to right, Anthony's Way ahead



View South East, from Anthonys Way

10

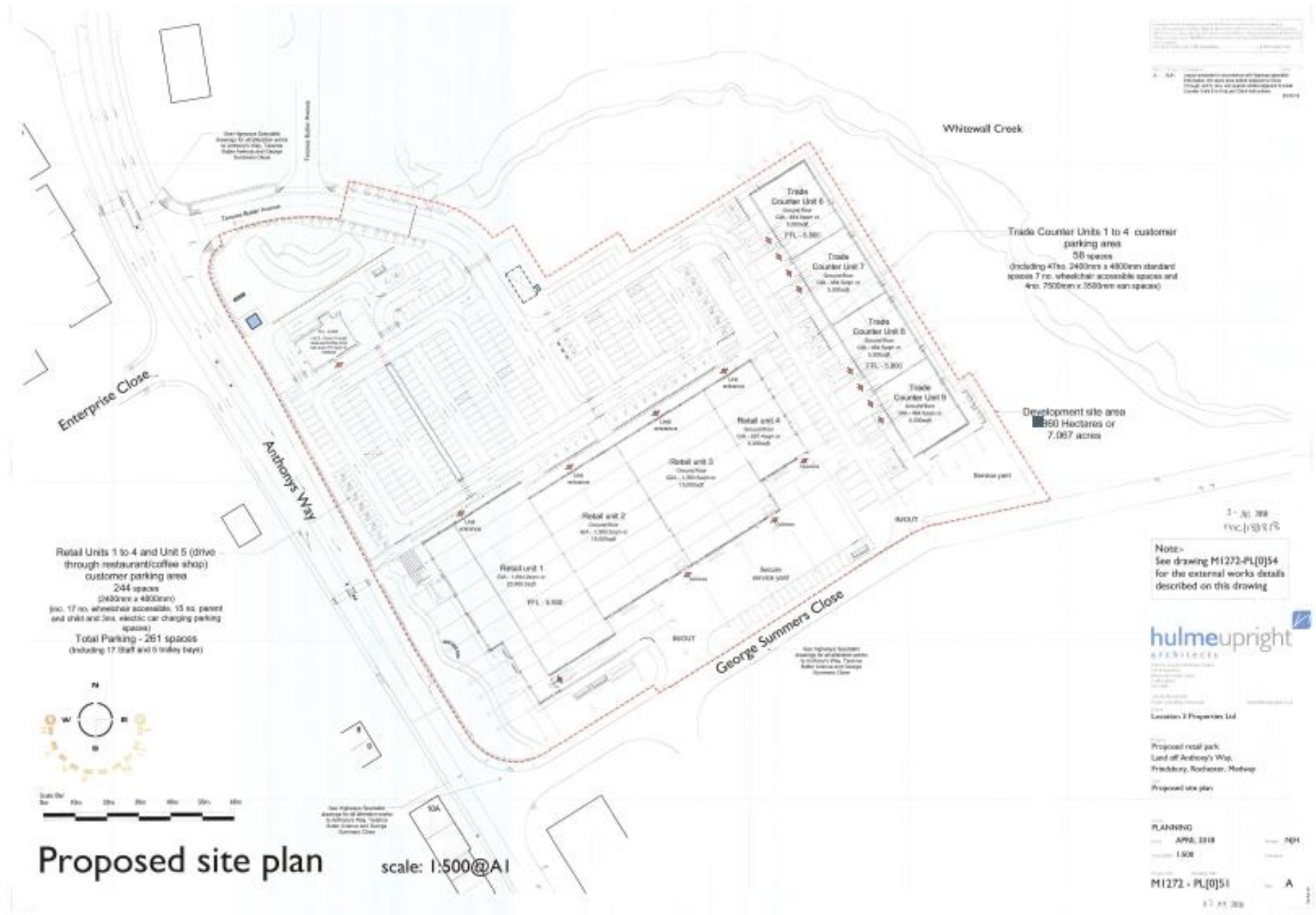


View North East from Junction of Anthony's Way and George Summers Close

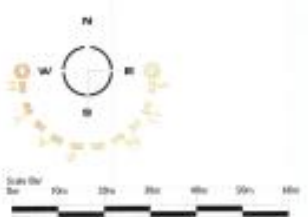


View East from George Summers Close





Retail Units 1 to 4 and Unit 5 (drive-through restaurant/coffee shop) customer parking area
 244 spaces
 (2400mm x 4800mm)
 (inc. 17 no. wheelchair accessible, 15 no. parent and child and 2 no. electric car charging parking spaces)
 Total Parking - 261 spaces
 (including 17 Staff and 5 baby bays)



Proposed site plan scale: 1:500@A1

Notes:
 1. All dimensions are in millimetres unless otherwise stated.
 2. All dimensions are to the centre of the line unless otherwise stated.
 3. All dimensions are to the finished ground level unless otherwise stated.
 4. All dimensions are to the centre of the line unless otherwise stated.

31 Jul 2018
 Inc JSD/R

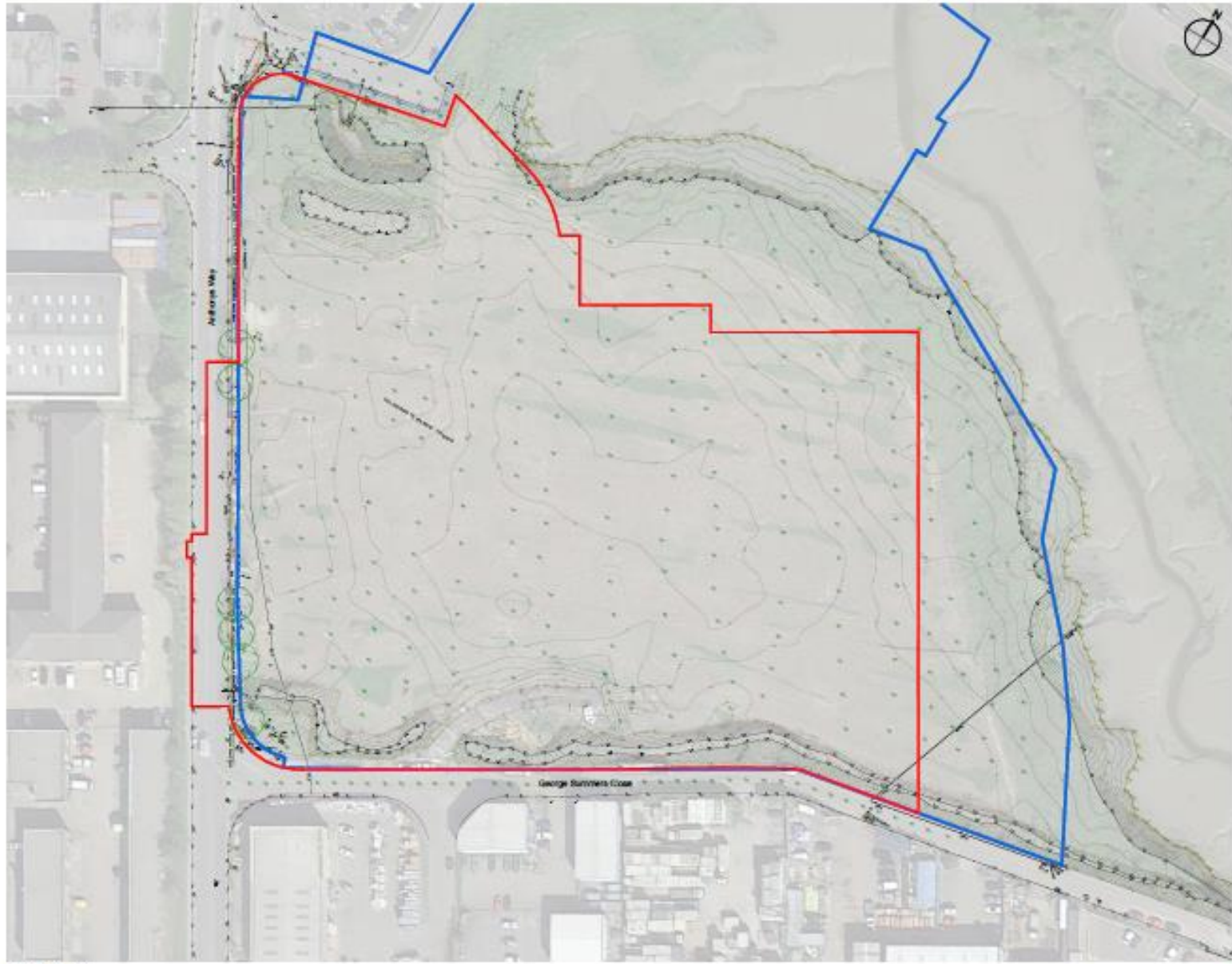
Note:-
 See drawing M1272-PL[0]54 for the external works details described on this drawing

hulmeupright
 architects

100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

PLANNING
 APR. 2018
 1:500
 M1272 - PL[0]51
 8.7.18.208

Site Location Plan



Proposed Site Layout
Scale 1:400

Information on this plan is for reference only and should not be used for any other purpose. It is not intended to be used as a basis for any other design or construction. It is not intended to be used as a basis for any other design or construction.

- Community Boundary
- Application Boundary

M2CityLink
Site Location Plan



Project Name	George Summers Close
Client	M2CityLink
Date	15/08/23
Scale	1:400 @ A3
Author	UMC
Check	UMC
Scale	1:400 @ A3
Scale	1:400 @ A3

Proposed site layout



UNIT 1 - 5,130 sq ft
 Warehouse Area
 Total GSI Area - 33,200 sq ft (12.75 ac)

UNIT 26 - C-UM Bm
 Warehouse Area - 29,200 sq ft (10.66 ac)
 1st Floor Office & Core - 2,900 sq ft (1.05 ac)
 Total GSI Area - 32,100 sq ft (11.71 ac)

UNIT 28 - C-UM Bm
 Warehouse Area - 30,700 sq ft (11.17 ac)
 1st Floor Office & Core - 2,900 sq ft (1.05 ac)
 Total GSI Area - 33,600 sq ft (12.22 ac)

UNIT 34 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 400 sq ft (0.14 ac)
 Total GSI Area - 5,500 sq ft (2.00 ac)

UNIT 36 - C-UM Bm
 Warehouse Area - 3,200 sq ft (1.16 ac)
 Office - 400 sq ft (0.14 ac)
 Total GSI Area - 3,600 sq ft (1.30 ac)

UNIT 38 - C-UM Bm
 Warehouse Area - 2,200 sq ft (0.80 ac)
 Office - 400 sq ft (0.14 ac)
 Total GSI Area - 2,600 sq ft (0.94 ac)

UNIT 40 - C-UM Bm
 Warehouse Area - 3,700 sq ft (1.34 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 4,800 sq ft (1.74 ac)

UNIT 42 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 44 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 46 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 48 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 50 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 52 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 54 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 56 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 58 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 60 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 62 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 64 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 66 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 68 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 70 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

UNIT 72 - C-UM Bm
 Warehouse Area - 5,100 sq ft (1.85 ac)
 Office - 1,100 sq ft (0.40 ac)
 Total GSI Area - 6,200 sq ft (2.25 ac)

M2CityLink
 Proposed Site Layout

umc architects

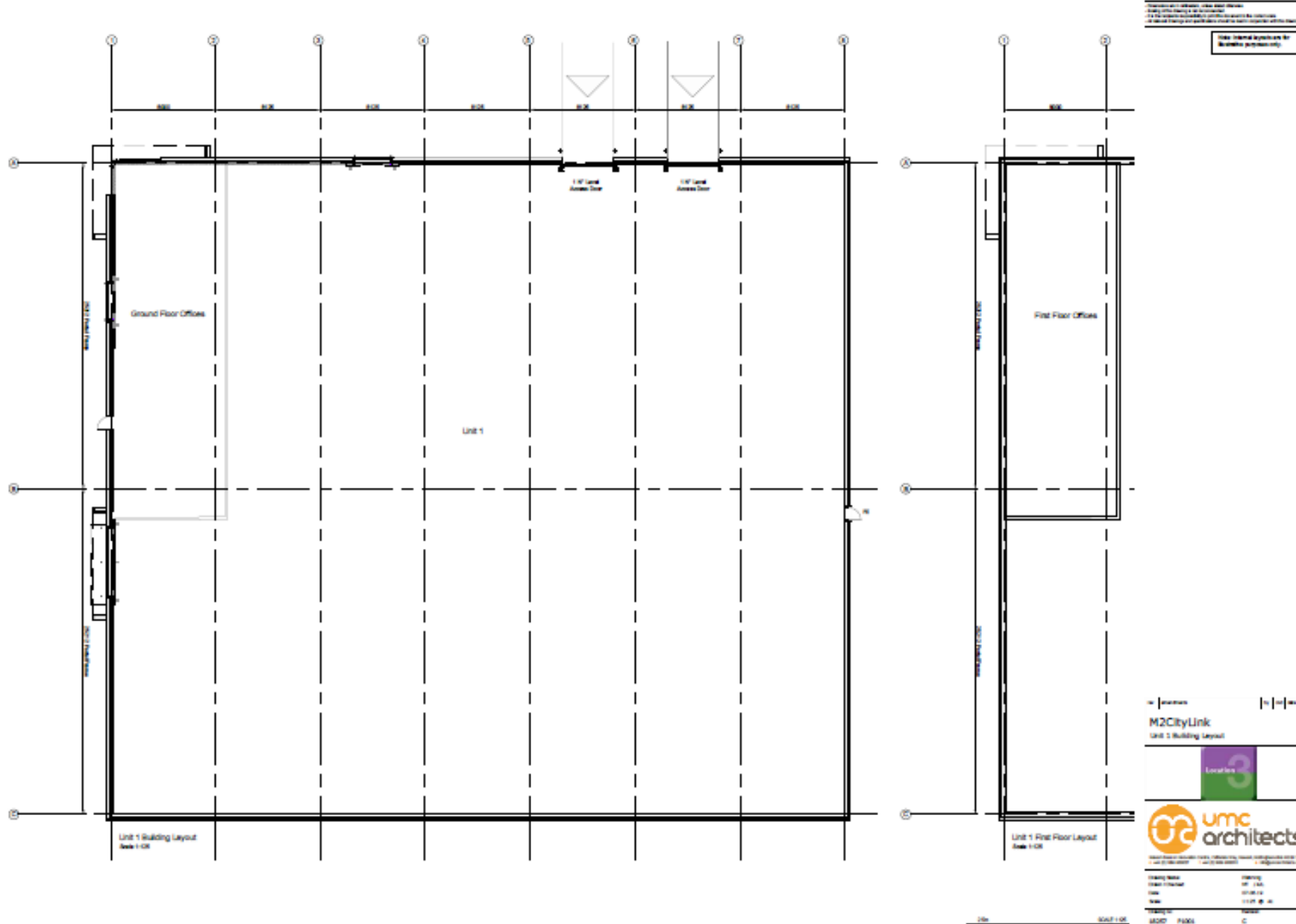
1500 15th Street, Suite 1000, Denver, CO 80202
 Phone: (303) 733-1000
 Website: www.umcarchitects.com

Project Name	1500 15th Street
Project Number	1500 15th Street
Date	08/08/2023
Scale	1/8" = 1'-0"
Drawn by	John Doe
Checked by	John Doe

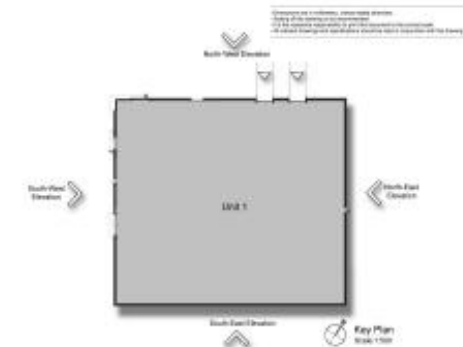
Proposed Site Layout
 Scale: 1/8" = 1'-0"



Unit 1 Warehouse Layout



Unit 1 Building Elevations



- Key**
- 1 Aluminium wall cladding
Finish: Tole Steel Coloured PF2000-016
Colour: M37-016
 - 2 Aluminium wall cladding
Finish: Tole Steel Coloured PF2000-016
Colour: L37-016
 - 3 Aluminium wall cladding
Finish: Tole Steel Coloured Prime
Colour: S37-016
 - 4 Translucent wall cladding
Finish: Tole Steel Coloured PF2000-016
Colour: L37-016
 - 5 Aluminium wall cladding
Finish: Tole Steel Coloured Prime
Colour: S37-016
 - 6 Aluminium corner cladding
Colour: Prime to M37-016
 - 7 200mm powder coated aluminium door with double glass
with a glass window feature and sensor bar
with handle to be fixed
 - 8 Composite roller shutter door with motor function
Finish: M37-016
 - 9 Aluminium door
Finish: to match adjacent cladding
 - 10 Window
 - 11 Cornice
Colour: L37-016
 - 12 Aluminium wall cladding
Finish: Tole Steel Coloured PF2000-016
Colour: S37-016

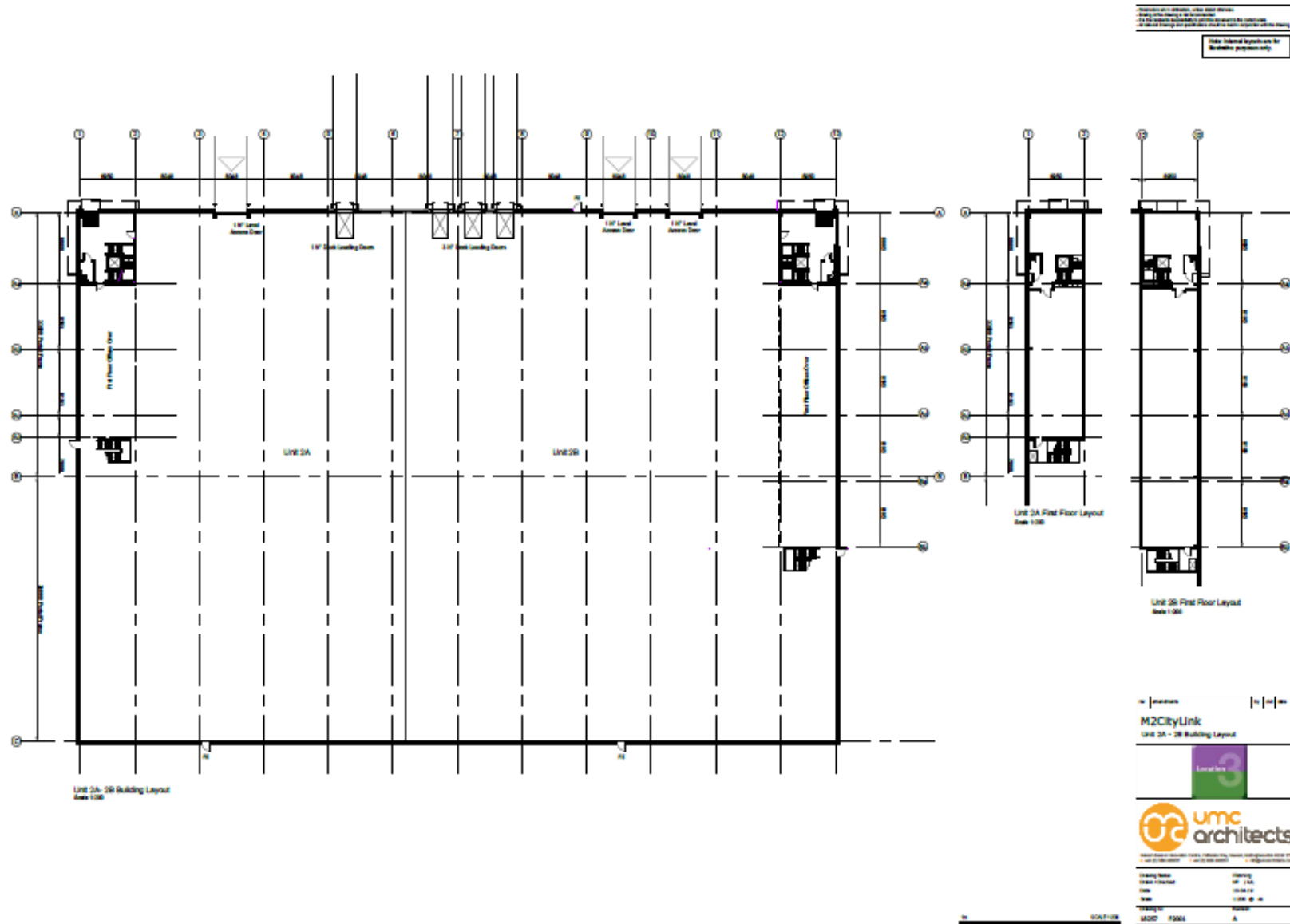
M2CityLink
Unit 1 Building Elevations and Section

umc architects

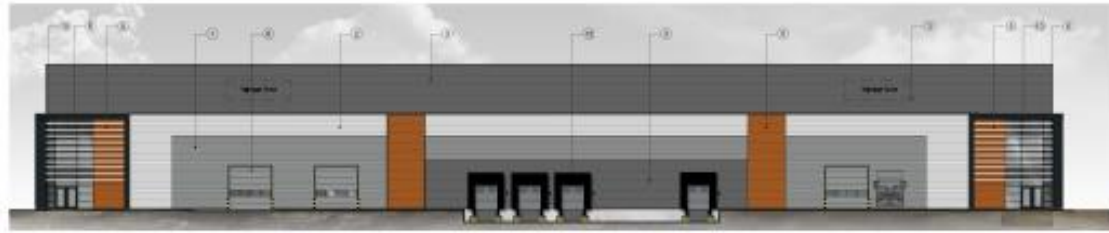
10/10/2024

Project Name	M2CityLink	Working	10/10/2024
Client Name	M2CityLink	Issue	10/10/2024
Scale	1:20	Author	J. Smith
Drawn by	J. Smith	Checked by	J. Smith
Scale	1:20	Project No.	10/10/2024

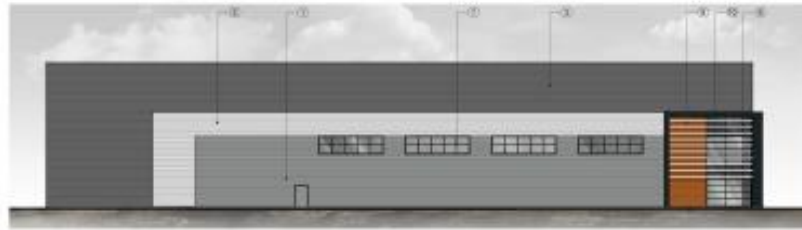
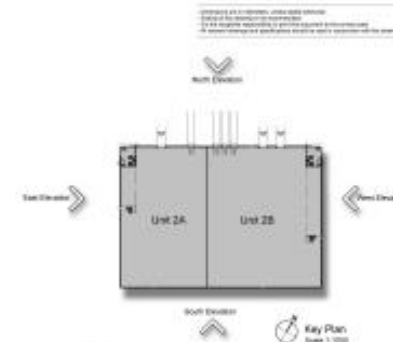
Unit 2A-2D Warehouse Layout



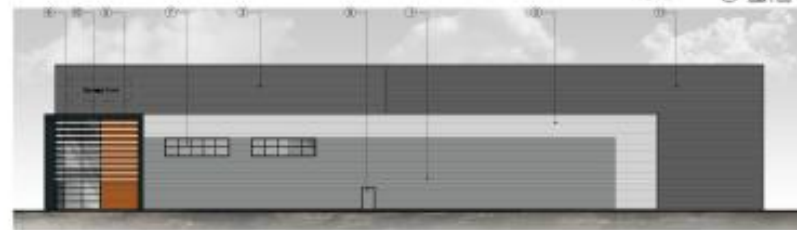
Unit 2A-2B Building Elevations and Section



North Elevation
Scale: 1:200



West Elevation
Scale: 1:200



East Elevation
Scale: 1:200



South Elevation
Scale: 1:200



Typical Unit 2A and 2B Section
Scale: 1:200

Key

- 1 Aluminium flat horizontal wall cladding
Finish: Flat Steel Coated MP550C 50%
Colour: Anthracite
- 2 Aluminium flat horizontal wall cladding
Finish: Flat Steel Coated MP550C 50%
Colour: Light Grey
- 3 Aluminium flat horizontal cladding
Finish: Flat Steel Coated MP550C 50%
Colour: Dark Grey
- 4 Horizontal flat cladding
Finish: Flat Steel Coated MP550C 50%
Colour: Light Grey
- 5 Aluminium flat vertical wall cladding
Finish: Flat Steel Coated MP550C 50%
Colour: Copper
- 6 Aluminium roller shutter
Colour: Powder Coat Black
- 7 Aluminium powder coated aluminium window with
double glazing unit
Finish: Anthracite to be fixed
- 8 Composite roller shutter door with aluminium profile
Finish: Anthracite
- 9 Horizontal door
Finish: To match adjacent cladding
- 10 Window / Glass Unit
Colour: Silver frame light grey
- 11 Aluminium horizontal ceiling
Finish: Flat Steel Coated MP550C 50%
Colour: Dark Grey
- 12 Composite door loading door and shelter

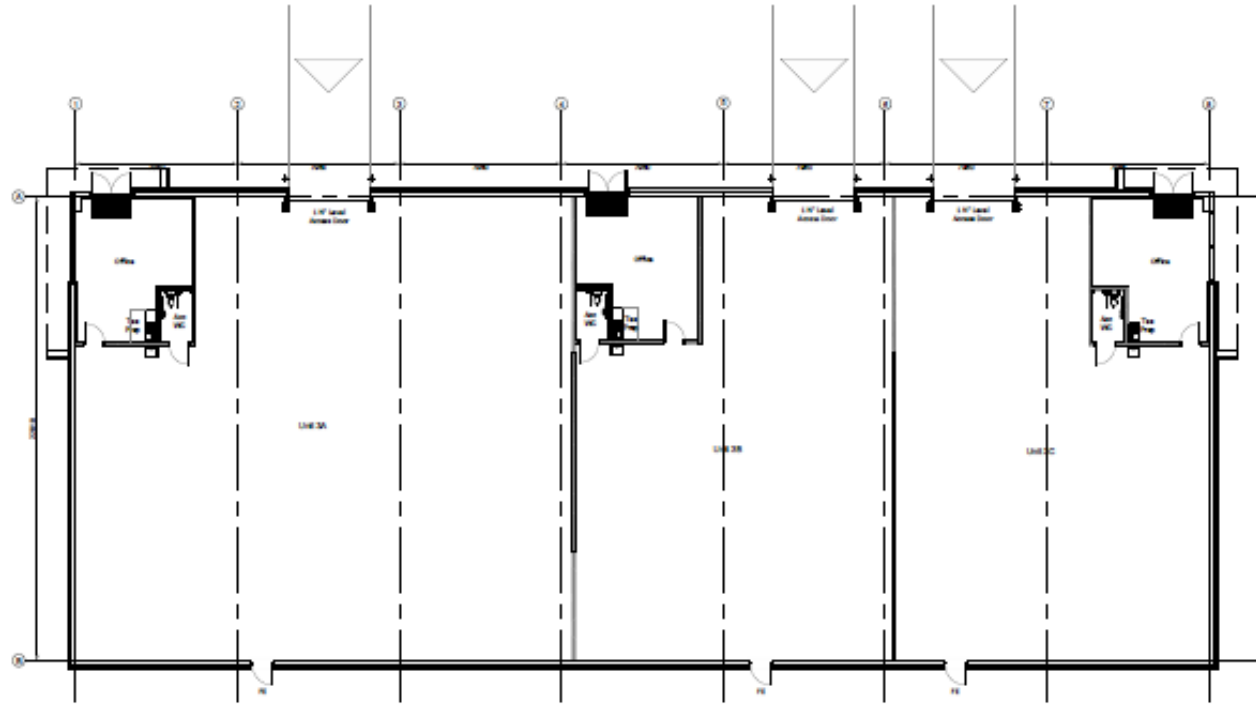


M2CityLink
Unit 2A - 2B Building Elevations and Section

umc architects

Project Name	M2CityLink
Client	M2CityLink
Location	11, rue de la
Scale	1:100 (E)
Date	1.000.20.18
Designer	umc architects
Scale	1:100 (E)

Unit 3A-3C Warehouse Layout



Unit 3A-3C Building Layout
Scale: 1/8" = 1'-0"

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M2CityLink
Unit 3A - 3C Building Layout

umc architects

Project Name	M2CityLink
Client/Owner	M2CityLink
Date	05/05/19
Scale	1/8" = 1'-0"
Drawn by	AM
Checked by	AM
Scale	1/8" = 1'-0"

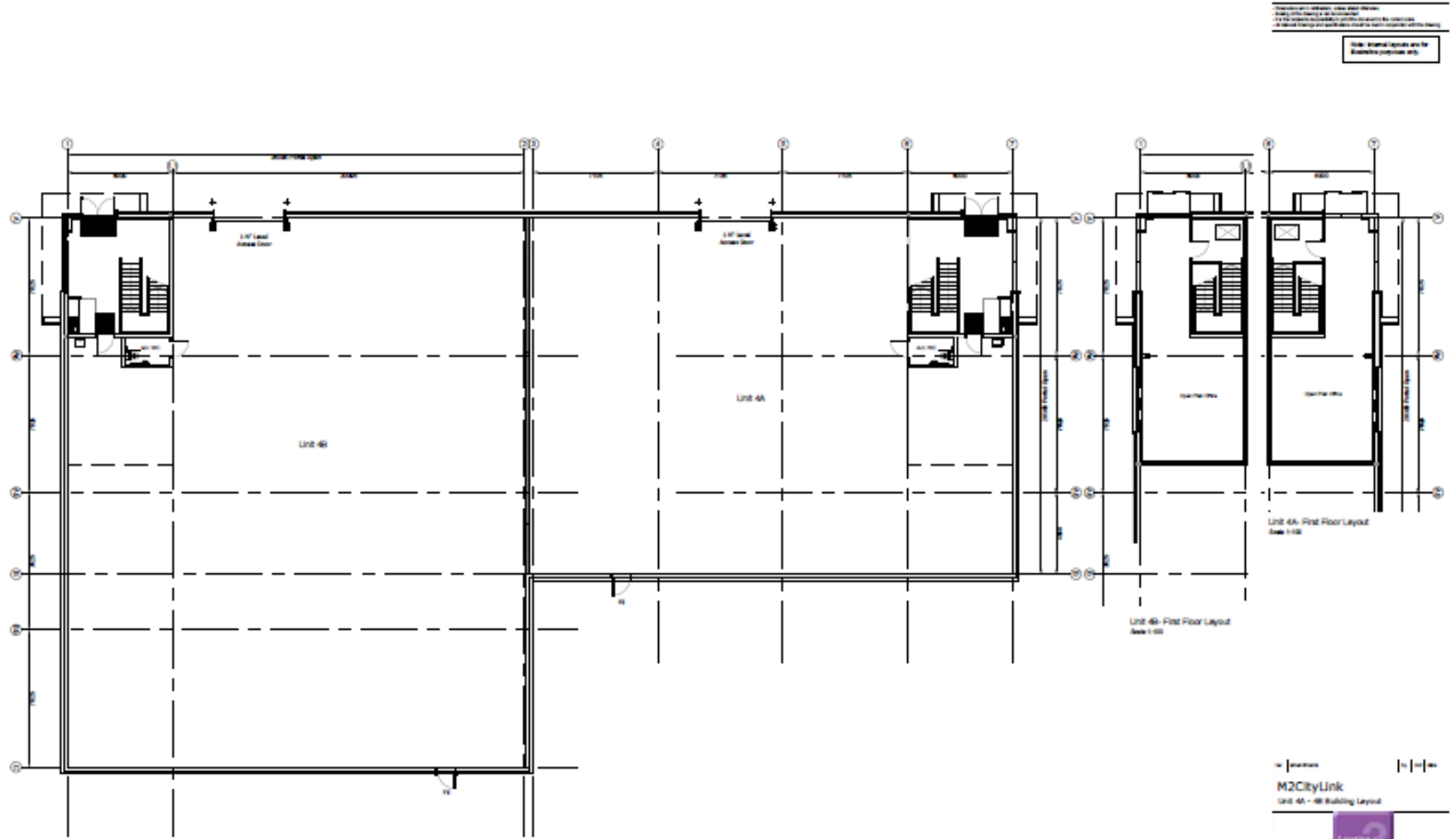


Unit 3A-3C Building Elevations and Section



Unit 4A-4B Warehouse Layout

22



Unit 4A-4B Building Layout
Scale 1:100

Unit 4A- First Floor Layout
Scale 1:50

Unit 4B- First Floor Layout
Scale 1:50

M2CityLink

 Unit 4A - 4B Building Layout

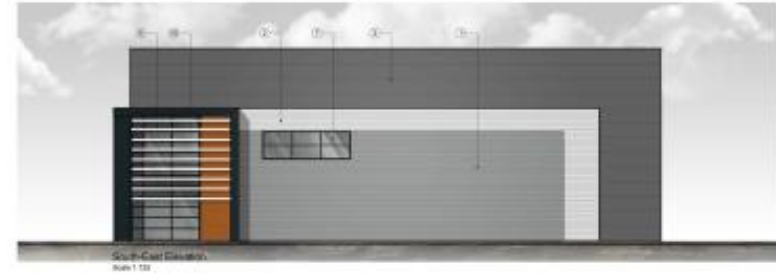
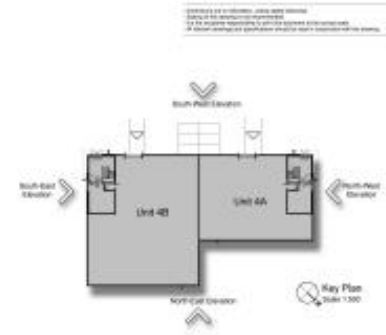
Location 3

umc architects

Client Name	M2CityLink
Client Contact	Mr. J. A. ...
Date	18.04.12
Scale	1:100 @ A1
Drawing No.	...

18.04.12
 18.04.12

Unit 4A-4B Building Elevations and Section



Key

1. Automatically lift insulator with cladding
Fresh Tone Steel/Colourscape HP2000-016
Colour: MC-016
2. Automatically lift insulator with cladding
Fresh Tone Steel/Colourscape HP2000-016
Colour: Light Grey
3. Automatically lift insulator with cladding
Fresh Tone Steel/Colourscape Prime
Colour: Oak Grey
4. Insulator with cladding
Fresh Tone Steel/Colourscape HP2000-016
Colour: Light Grey
5. Automatically lift insulator with glass cladding
Fresh Tone Steel/Colourscape Prime
Colour: Ember
6. Aluminium super walling
Colour: Prime 101-000
7. Aluminium powder coated aluminium window
with double glazing panel and
brushed finish to fit 1000
8. Timber or steel stud door with insulator with
mesh cladding
9. Powdered steel
mesh cladding
Colour: Light Grey
10. Insulator
Colour: Off white light grey

Scale: 1:100

M2CityLink
Unit 4A - 4B Building Elevations and Section

umc architects

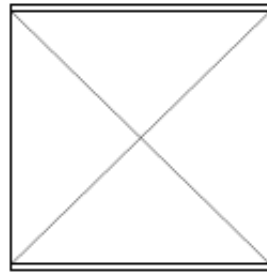
Project: M2CityLink Unit 4A-4B Building Elevations and Section
Date: 11.08.21
Scale: 1:100 (Elevations)
1:50 (Sections)

Client: M2CityLink
Architect: umc architects
Project No: 21021

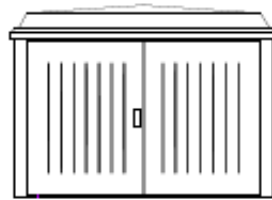
Landscape Plan



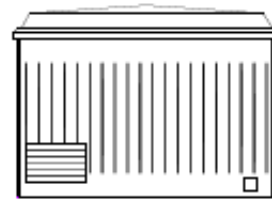
Cycle Shelter, Smoking Shelter and Bin Store



Sub Station Typical Plan
Scale 1:20



Sub Station Typical Front Elevation
Scale 1:20

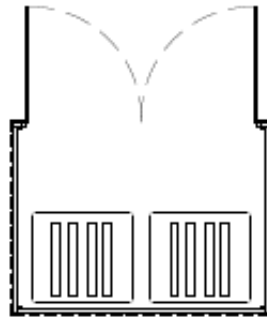


Sub Station Typical Side Elevation
Scale 1:20



Sub Station Typical 3D View
Scale 1:20

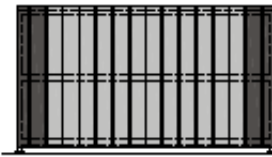
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Bin Store Typical Plan
Scale 1:20



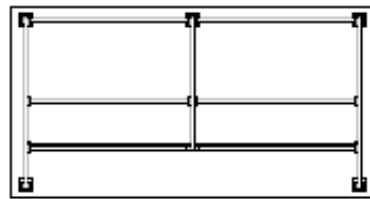
Bin Store Typical Front Elevation
Scale 1:20



Bin Store Typical Side Elevation
Scale 1:20



Bin Store Typical Rear Elevation
Scale 1:20



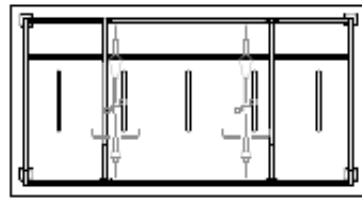
Smoking Shelter Typical Plan
Scale 1:20



Smoking Shelter Typical Plan
Scale 1:20



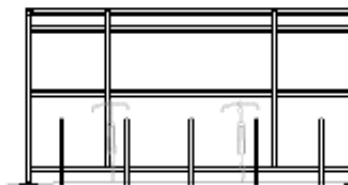
Key Plan
Scale 1:1000



Cycle Shelter Typical Plan
Scale 1:20



Cycle Shelter Typical Front Elevation
Scale 1:20



Cycle Shelter Typical Side Elevation
Scale 1:20

M2CityLink
Help make, improve, manage, maintain and enhance transit.

umc architects
Urban Mobility Consulting Architects

Project Name: M2 City Link
Client: M2 City Link
Date: 1/18/17
Scale: 1/4" = 1'-0"

Sheet No: 10000
Project No: 10000

Indicative Aerial Perspective North

Indicative Aerial Perspective
Scale: NTS @ A3
Date: 21 June 2019



M2, City Link

Drawing Number:
18257 - F0007C

Indicative Aerial Perspective
View North

Scale: NTS @ A3
Date: 21 June 2019



Indicative Aerial Perspective South West

Indicative Aerial Perspective
View South West
Scale: NTS @ A3
Date: 23 June 2015



Indicative Eye Level Perspective

28



M2, City Link

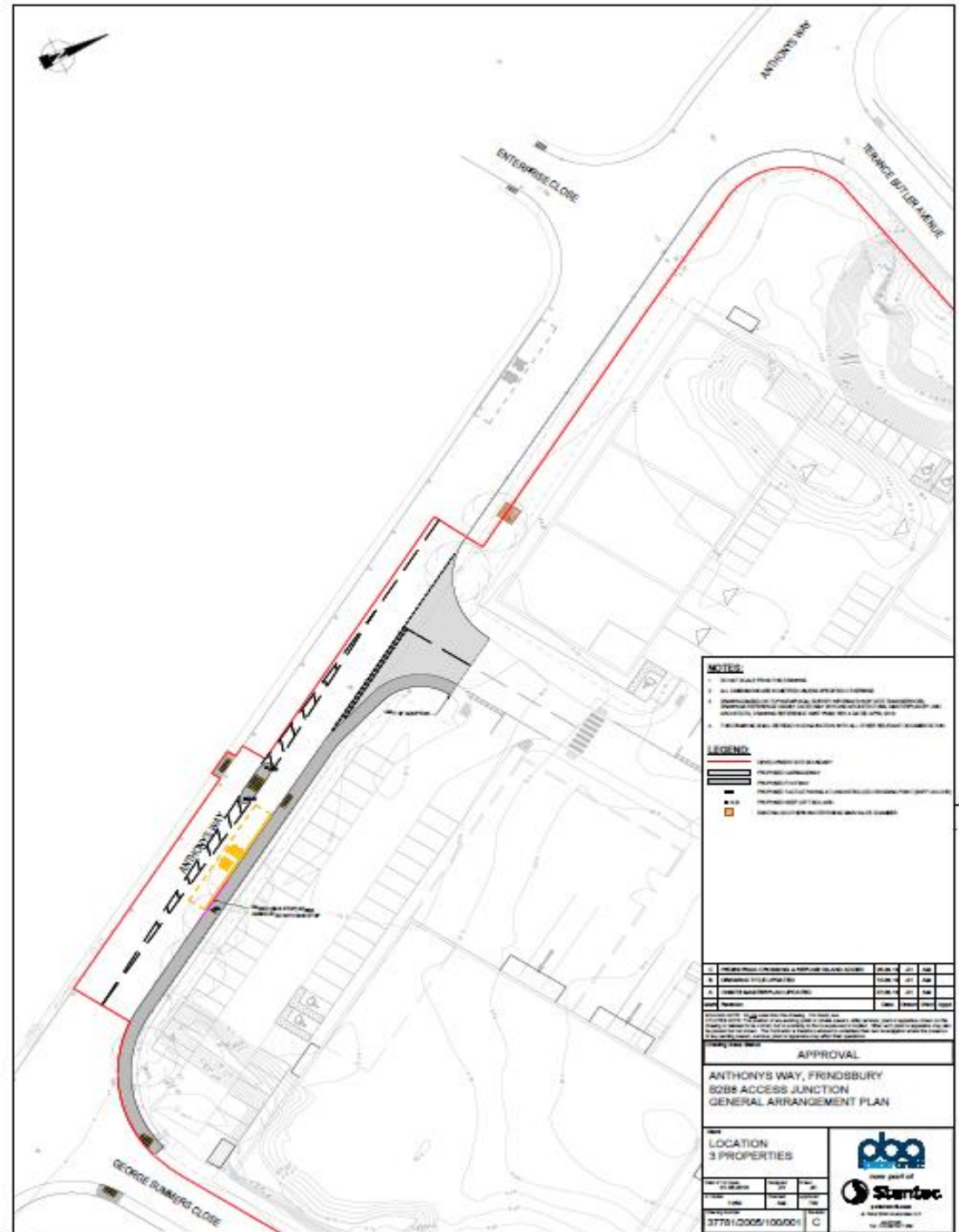
Drawing Number:
18257 - P00098

Indicative Eye Level Perspective
View North-East

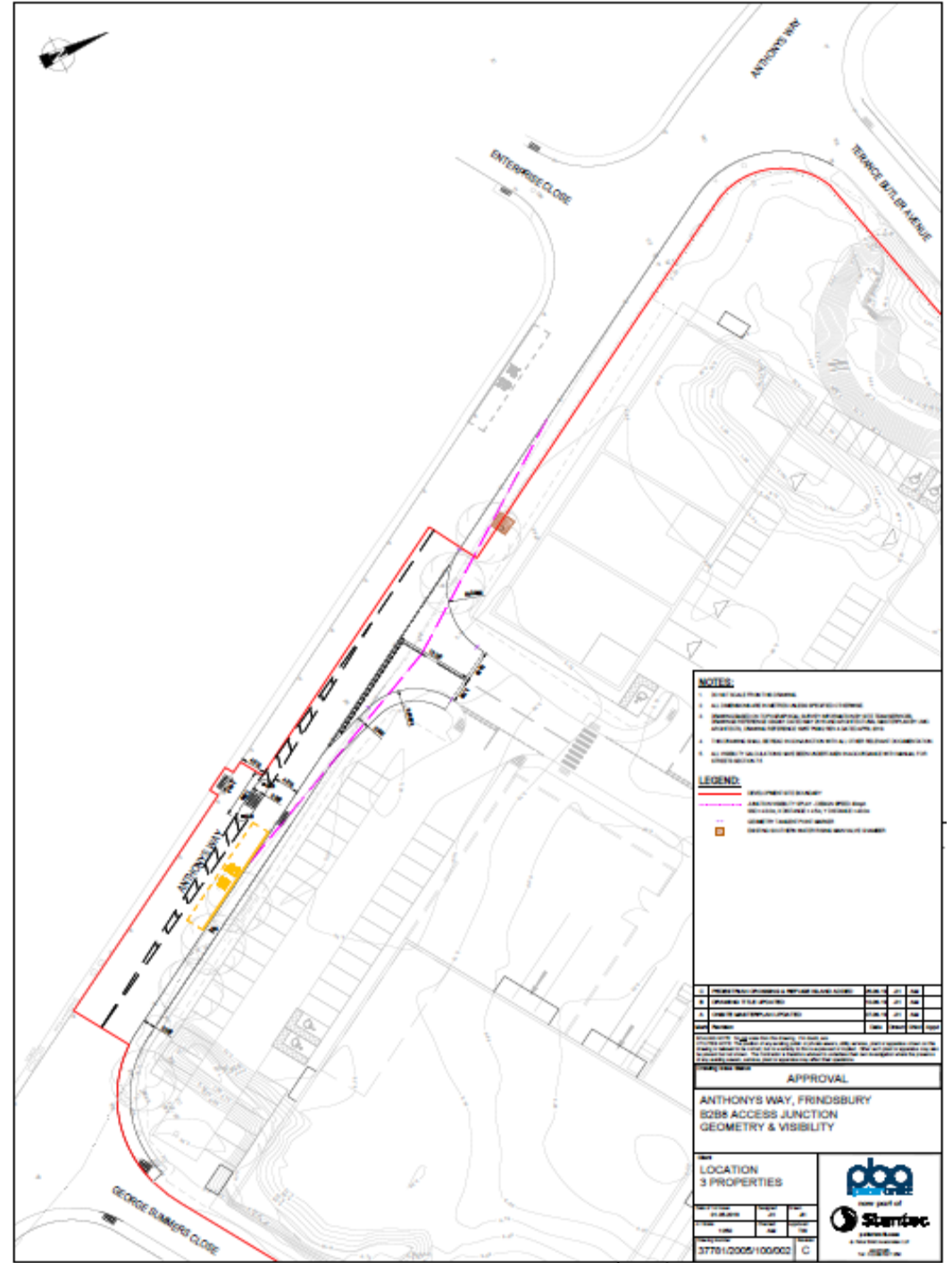
Scale: NTS @ A3
Date: 21 June 2019



Access Junction General Arrangement Plan



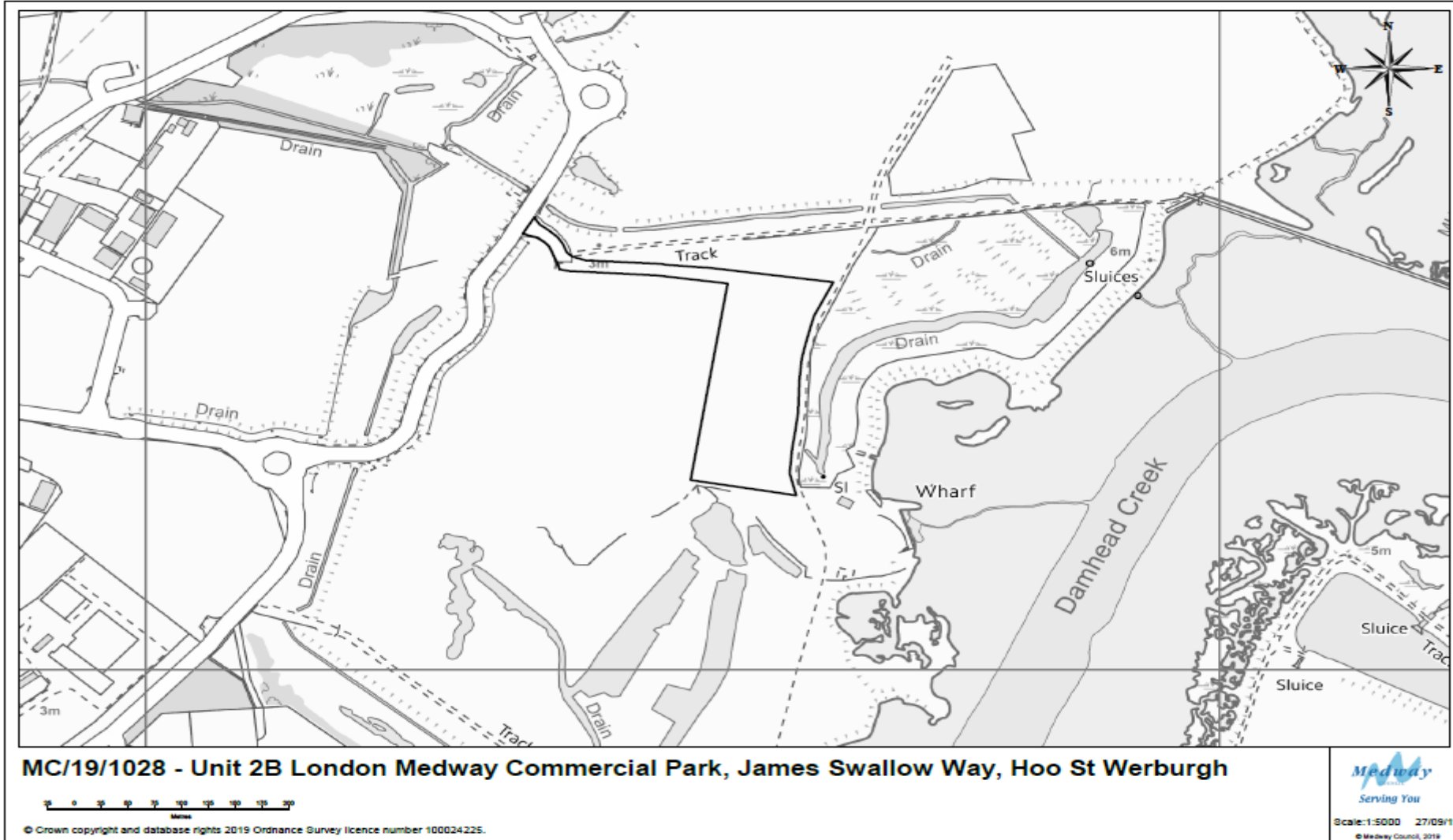
Access Junction Geometry and Visibility



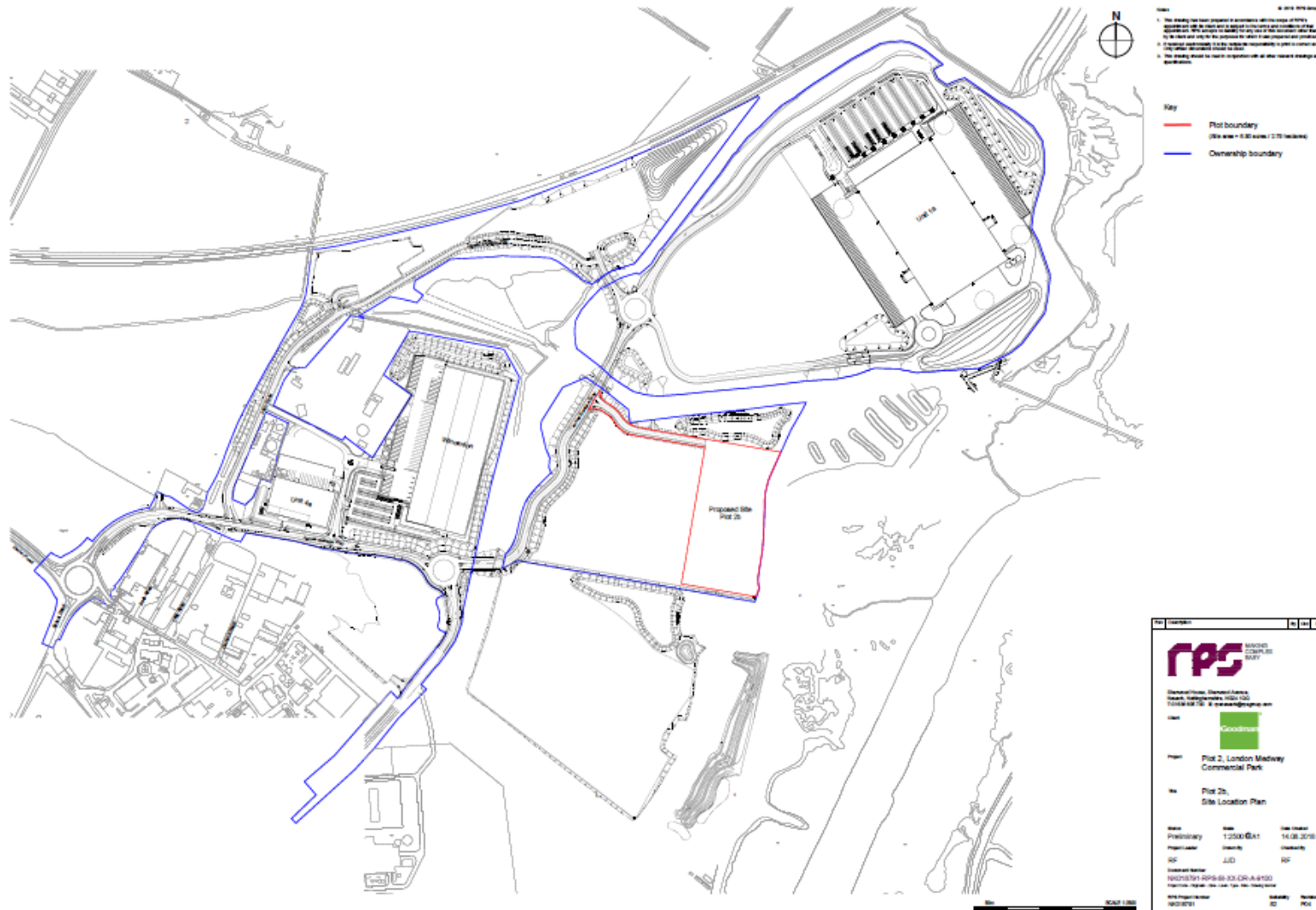
MC/19/1028

Unit 2B London, Medway Commercial Park,
James Swallow Way, Hoo St Werburgh,
Rochester

Location plan



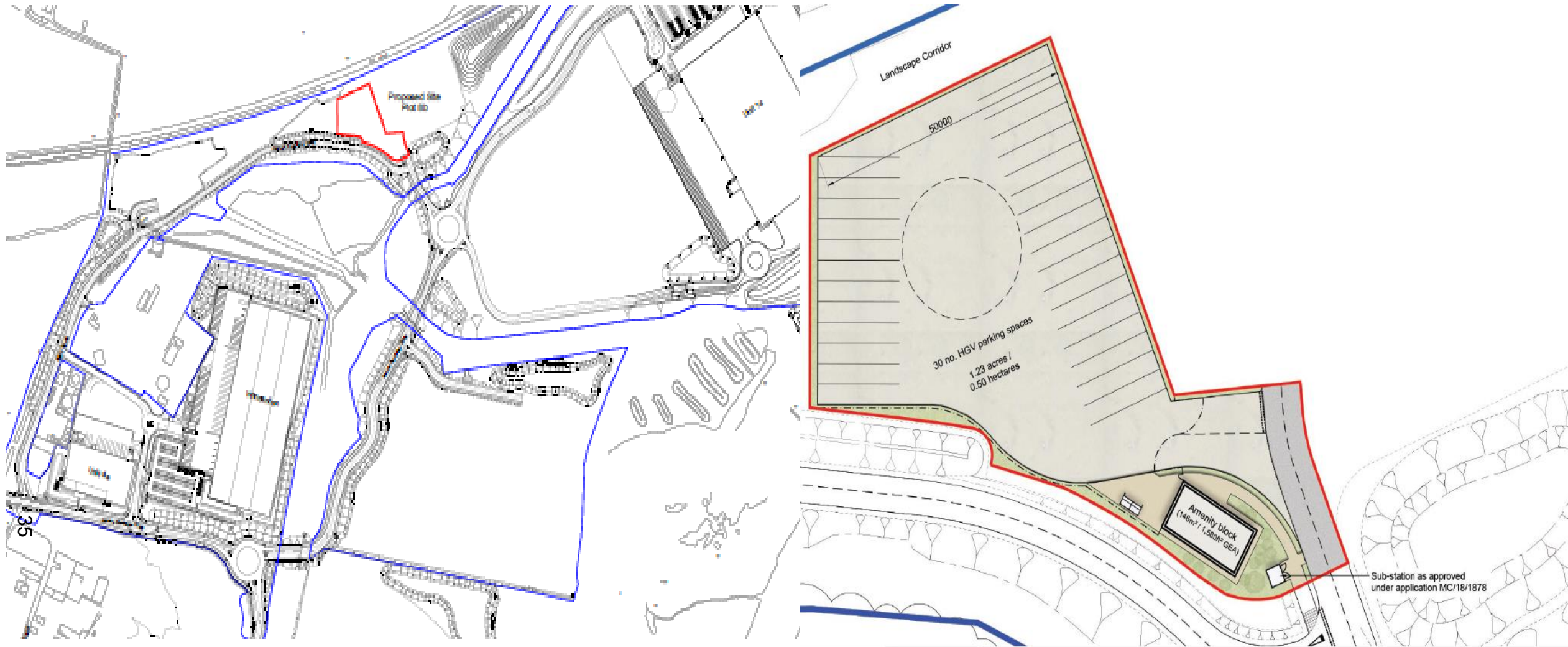
Area marked red shows the application site and blue the extent of the Commercial Park



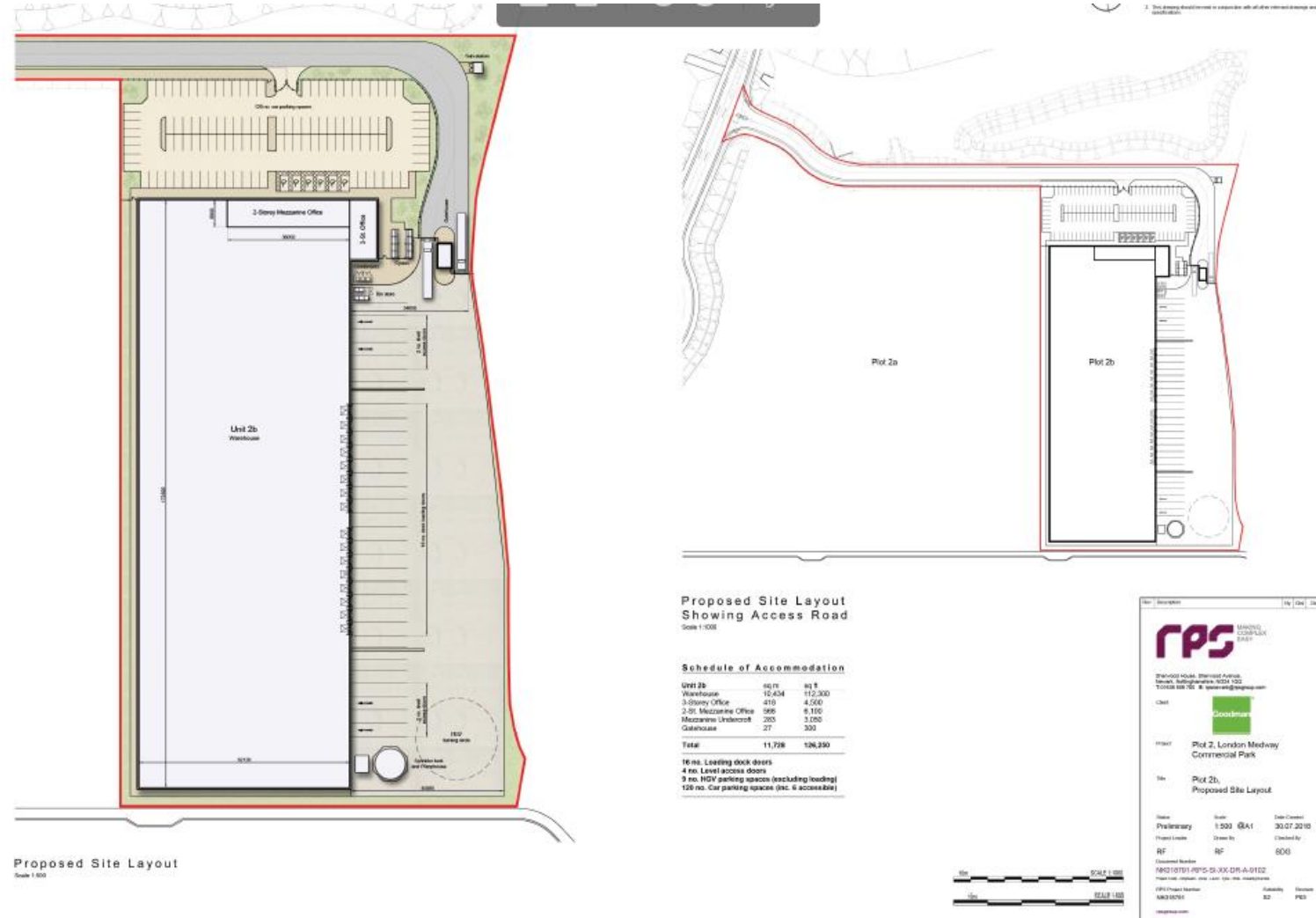
Aerial photo of the application site and its surrounding



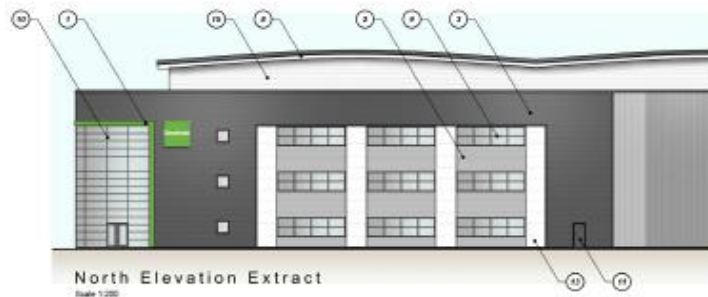
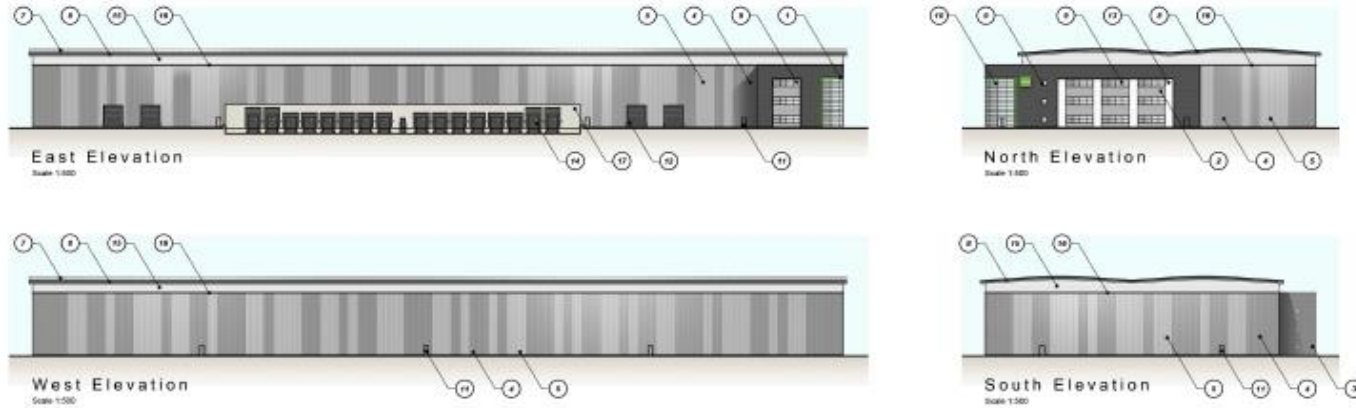
Location and layout of provision for 30 HGV parking area together with the an ancillary amenity block approved under MC/19/1785



The site layout plan and access road



The proposed Elevations of the office and warehouse Building

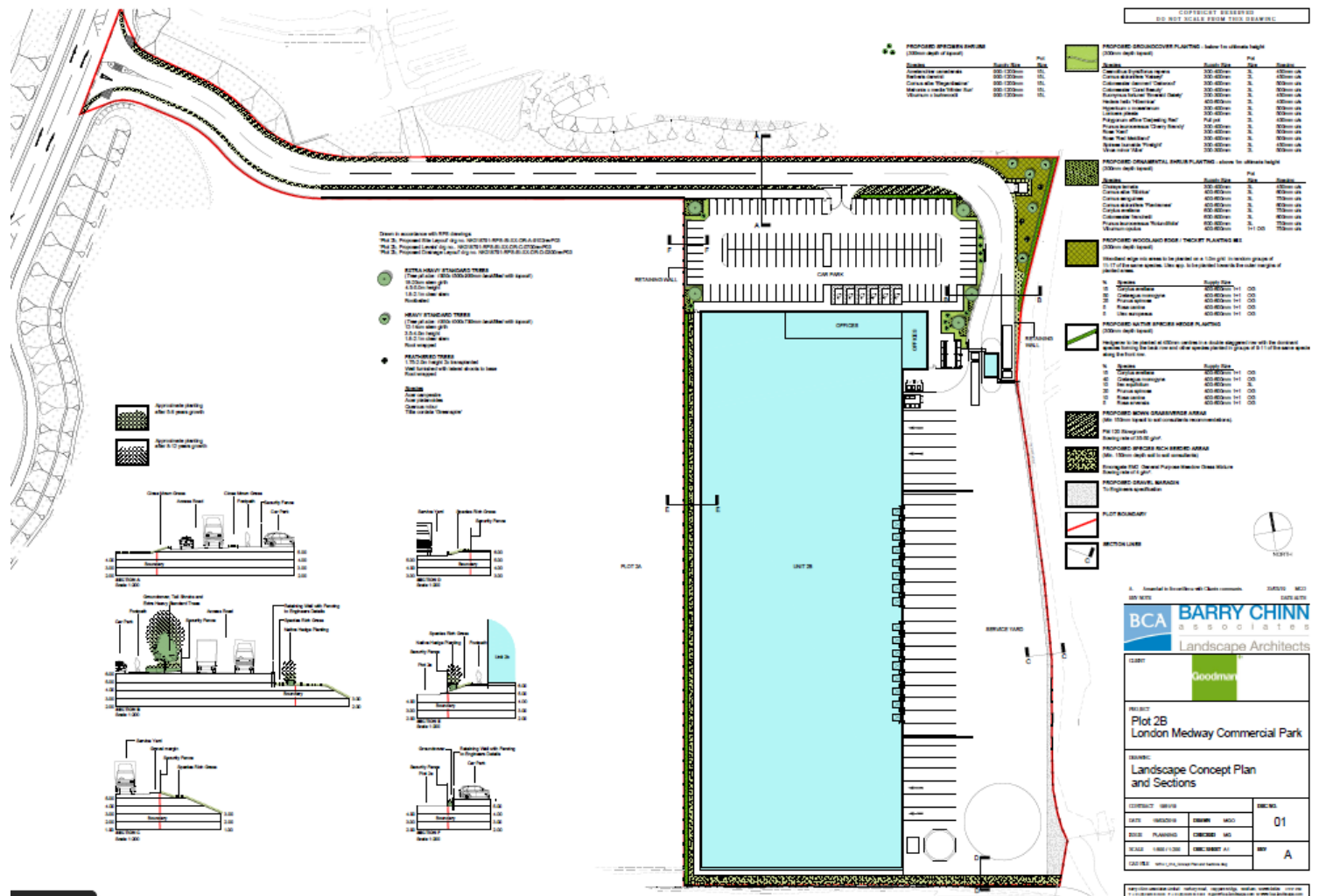


External Finishes

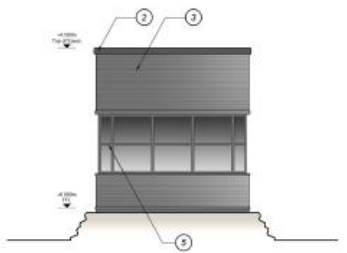
- 1 Aluminium feature facing
Finish: Colonial Prime
Colour: Green (Feature 30)
- 2 Horizontally laid trapezoidal profiled metal wall cladding system
Finish: Colonial Prime
Colour: Silver metallic
- 3 Horizontally laid trapezoidal profiled metal wall cladding system
Finish: Colonial Prime
Colour: Dark grey
- 4 Vertically laid trapezoidal profiled metal wall cladding system
Finish: Colonial Prime
Colour: Light grey
- 5 Vertically laid trapezoidal profiled metal wall cladding system
Finish: Colonial HP200 Ultra
Colour: Silver metallic
- 6 Trapezoidal profiled metal sheet to soffits overhang
Not shown on elevations for reference only
Finish: Colonial HP200 Ultra
Colour: White
- 7 Curved rail system using tapered profiled metal roof panels
Finish: Colonial HP200 Ultra
Colour: Light grey
- 8 2 piece doors and verge flashing
Finish: Colonial Prime
Top colour: Dark grey
Bottom colour: White
- 9 Aluminium powder coated vision system
Finish: PPC
Glazing: Grey tinted
Frame colour: Dark grey
- 10 Aluminium powder coated curtain walling and door system
Finish: PPC
Glazing: Grey tinted
Frame colour: Dark grey
- 11 Steel insulated security door & frame
Finish: PPC
Colour: To match cladding
- 12 Optional overhead level access doors
Finish: PPC
Colour: Dark grey
- 13 Horizontally laid flat metal wall cladding system
Finish: Colonial Prime
Colour: White
- 14 Optional overhead dock loading door with dock shutter
Finish: PPC
Colour: Dark grey
- 15 Horizontally laid trapezoidal profiled metal wall cladding system
Finish: Colonial HP200 Ultra
Colour: White
- 16 200mm wide horizontal feature flashing
Finish: Colonial Prime
Colour: Dark grey
- 17 Perimeter insulated dark wall system

200 Woodhouse, Woodhouse Avenue, Newark, Nottinghamshire NG24 1JG T: 01632 831700 E: sales@rpsgroup.com		
Client		
Project	Plot 2, London Medway Commercial Park	
Title	Plot 2b, Proposed Building Elevations	
Date	Scale	Date Created
Preliminary	1:500 @A1	10.05.2018
Project Leader	Drawn By	Checked By
RF	WP	SDO
Drawing Number NPS 15701-RPS-MB-ZZ-01-A-0106		

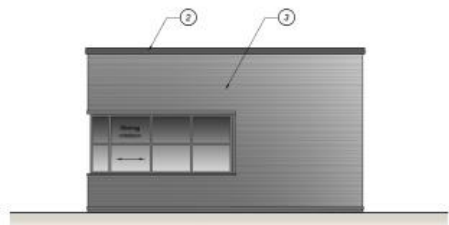
The proposed Landscape plan



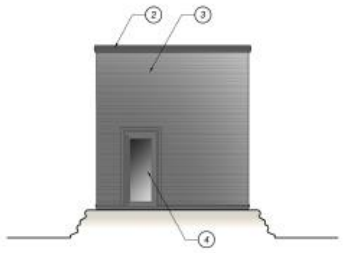
The Proposed Gatehouse Building



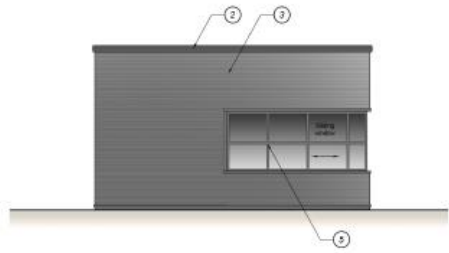
North Elevation
Scale 1:50



West Elevation
Scale 1:50

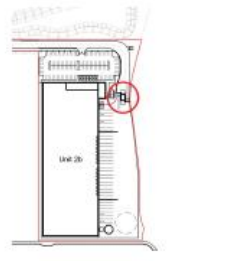


South Elevation
Scale 1:50

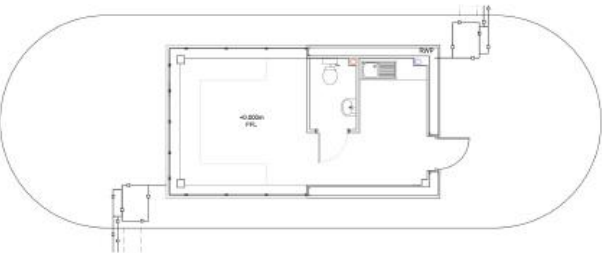


East Elevation
Scale 1:50

- Notes
1. All architectural detail arrangements shall be in accordance with the current BS 1192.
 2. All materials shall be specified in accordance with the current BS 1192.
 3. All materials shall be specified in accordance with the current BS 1192.
 4. All materials shall be specified in accordance with the current BS 1192.



Site Layout, Gatehouse Location



Gatehouse Layout
Scale 1:20

- External Finishes
1. Built-up metal roof cladding system (not shown)
Finish: Colonial RPS/20K Lite
Colour: Light grey
 2. Aluminium window frame finishing
Finish: Colonial Plura
Colour: Dark grey
 3. Horizontally laid profiled metal cladding system
Finish: Colonial Plura
Colour: Dark grey
 4. Thermally broken polyester powder coated aluminium doors
Finish: Polyester powder coated
Colour: Dark grey
 5. Thermally broken polyester powder coated aluminium windows
Finish: Polyester powder coated
Colour: Dark grey

DESCRIPTION

rps RPS GROUP
COMMERCIAL PARK

Client: Greenway

Plot 2, London Meadway Commercial Park

Plot 2b, Gatehouse Details

Scale:	Issue:	Date Issued:
Preliminary	1.02	04.20.2010
Project Leader:	Drawn By:	Checked By:
RP	JUD	SDG

Client's Details: RPS/10701-RPS-SI-XX-DIR-A-0107

Plot 2b - Gatehouse Details

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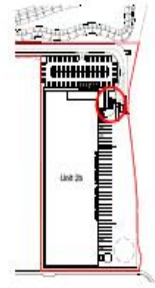
Proposed Bicycle Shelter Provision on the left and refuse storage on the right



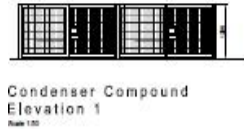
Typical Cycle Shelter Image (10 space unit)



Typical Cycle Shelter 3D (10 space unit)



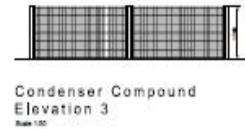
Site Layout, Cycle Shelter Locations



Condenser Compound Elevation 1
Scale 1:50



Condenser Compound Elevation 2
Scale 1:50



Condenser Compound Elevation 3
Scale 1:50



Condenser Compound Elevation 4
Scale 1:50



Bin Store Elevation 1
Scale 1:50



Bin Store Elevation 2
Scale 1:50



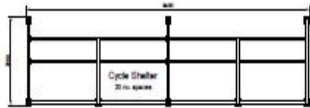
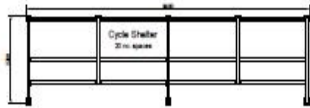
Bin Store Elevation 3
Scale 1:50



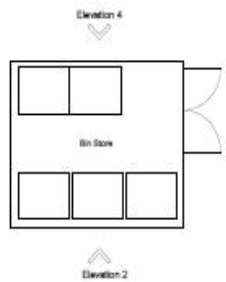
Bin Store Elevation 4
Scale 1:50



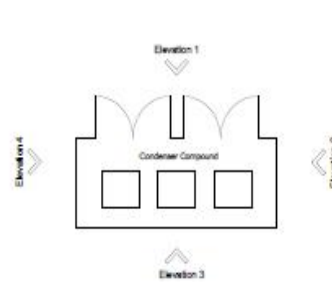
Bin Store & Condenser Compound Fencing
Typical Paladina Type Fence



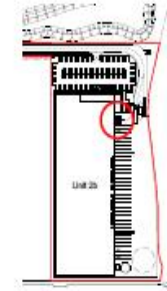
Plot 2b Cycle Shelter Layouts
Scale 1:50



Bin Store Plan
Scale 1:50



Condenser Compound Plan
Scale 1:50

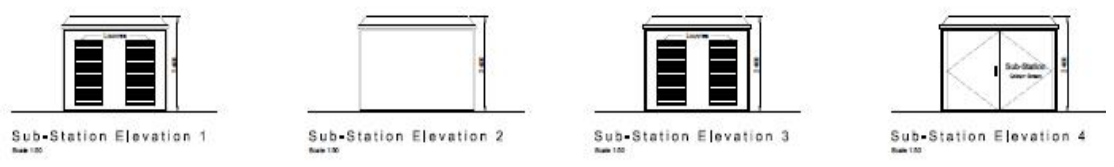


Site Layout, Bin Store & Condenser Compound Locations

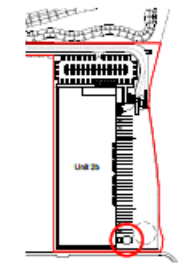


RPS GROUP
 RPS GROUP
 100th St, London
 Commercial Park
 Plot 2b
 Proposed Bin Store and Condenser Compound Details
 14.08.2018
 Scale: 1:50
 Author: JLD
 Checker: SDG
 Project Name: RPS-18-08-01-01-01
 Project Number: RPS-18-08-01-01-01-01
 Project Name: RPS-18-08-01-01-01-01

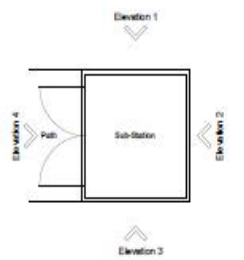
Proposed Electricity substation on the left and sprinkler water tank and pump house on the right



Typical Sprinkler Tank & Pump House Image



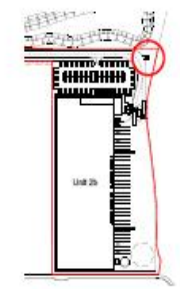
Site Layout, Sprinkler Tank & Pump House Location



Typical Sub-Station Plan
Scale 1:50



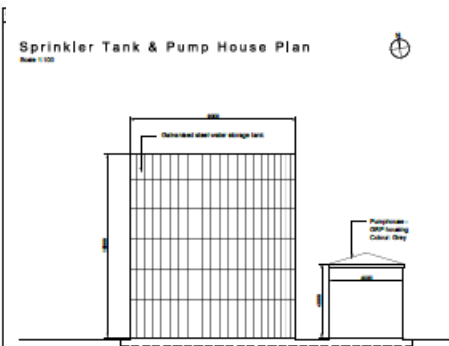
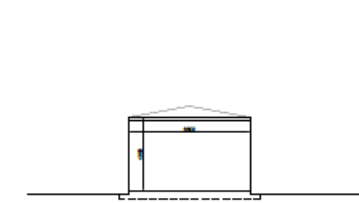
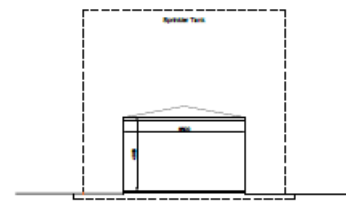
Typical Sub-Station Image



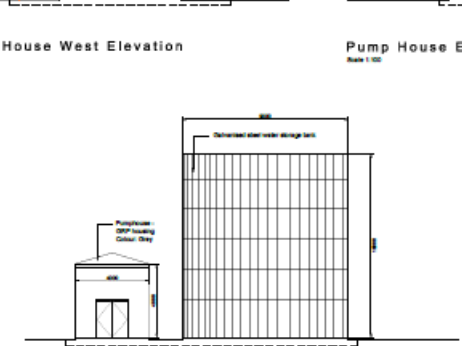
Site Layout, Sub-Station Location



Sprinkler Tank & Pump House Plan
Scale 1:50



Sprinkler Tank & Pumphouse North Elevation



Sprinkler Tank & Pumphouse South Elevation



rps CONSULTING ENGINEERS

Sheppard House, Sheppard Avenue
Toronto, Ontario, Canada M2N 6L2
Tel: 416-491-1111 Fax: 416-491-1112
www.rpsinc.com

Client: **Goodman**

Project: **Plot 2, London Midway Commercial Park**

Site: **Plot 2b, Sprinkler Tank and Pump House Details**

Scale: 1:50
Date: 14.08.13
Project Lead: J.D.
Drawn By: J.D.
Checked By: J.D.
Scale: 500

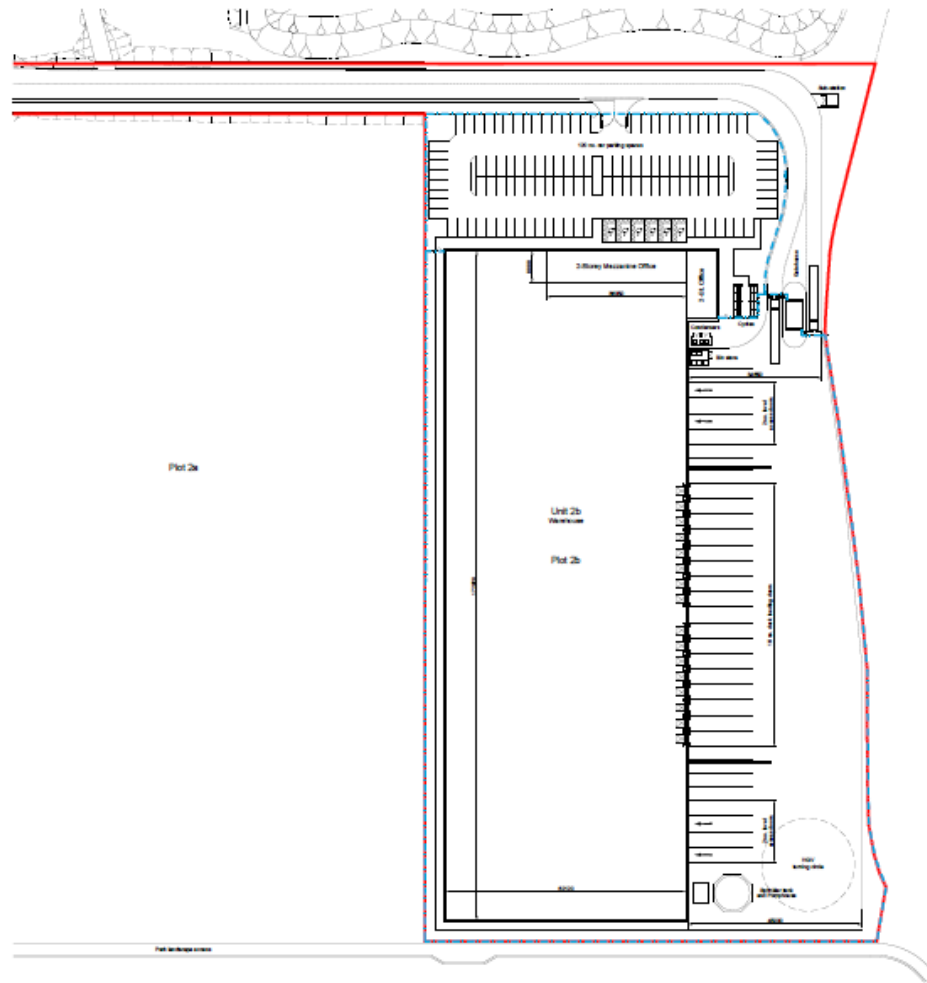
Project Number: **1021371-RPS-0-13-08-A-0111**

Project Name: **Plot 2b, London Midway Commercial Park**

Project Location: **Plot 2b, London Midway Commercial Park**

Project Status: **Final**

Proposed Boundary Treatment



- 1. This drawing has been prepared in accordance with the scope of RPS's appointment and shall not be relied upon for any other purpose.
- 2. RPS shall not be responsible for any third party's use of this drawing or for any damage or loss arising from its use.
- 3. It is the responsibility of the client to ensure that all necessary permissions and consents are obtained for the proposed works.
- 4. This drawing is the work of RPS and shall not be used for any other purpose without the written consent of RPS.

Key

- 2.4m high paladin type security fence
- Application boundary



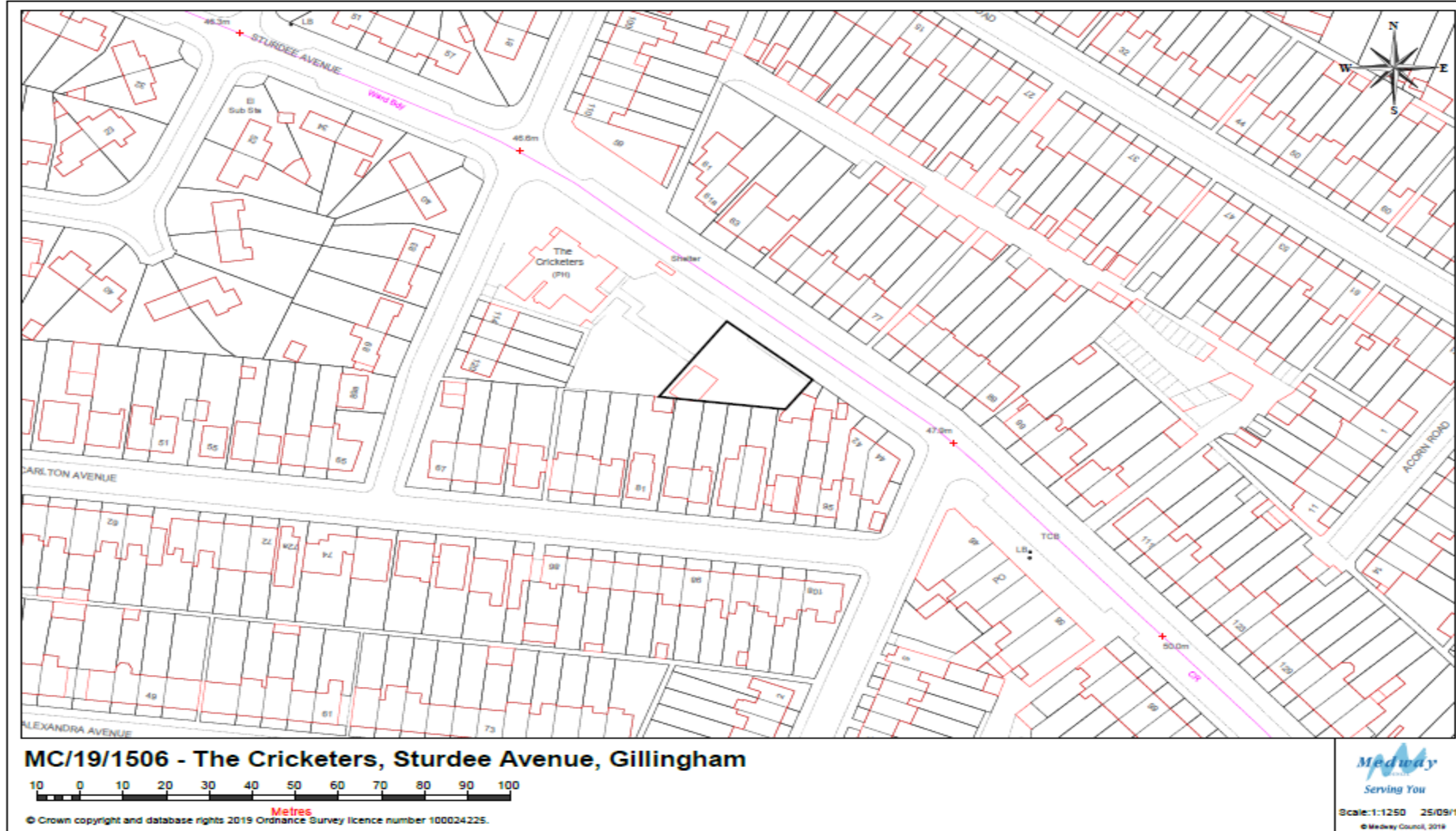
Typical Paladin Type Fence

RPS GROUP RPS GROUP RPS GROUP		
Proposed Fencing Location Plan Plot 2, London Medway Commercial Park		
Plot 2b Proposed Fencing Location Plan		
Date: Preliminary	Scale: 1:500	Date Issued: 20.07.2018
Project Lead: RF	Drawn By: SEM	Checked By: SDG
Drawing Number: N0218701-RPS-01-XX-OR-A-0103		

MC/19/1506

The Cricketers, Sturdee Avenue,
Gillingham

Location plan



The Cricketers PH - remaining



Former car park and garage



Rear of houses in Carlton Avenue



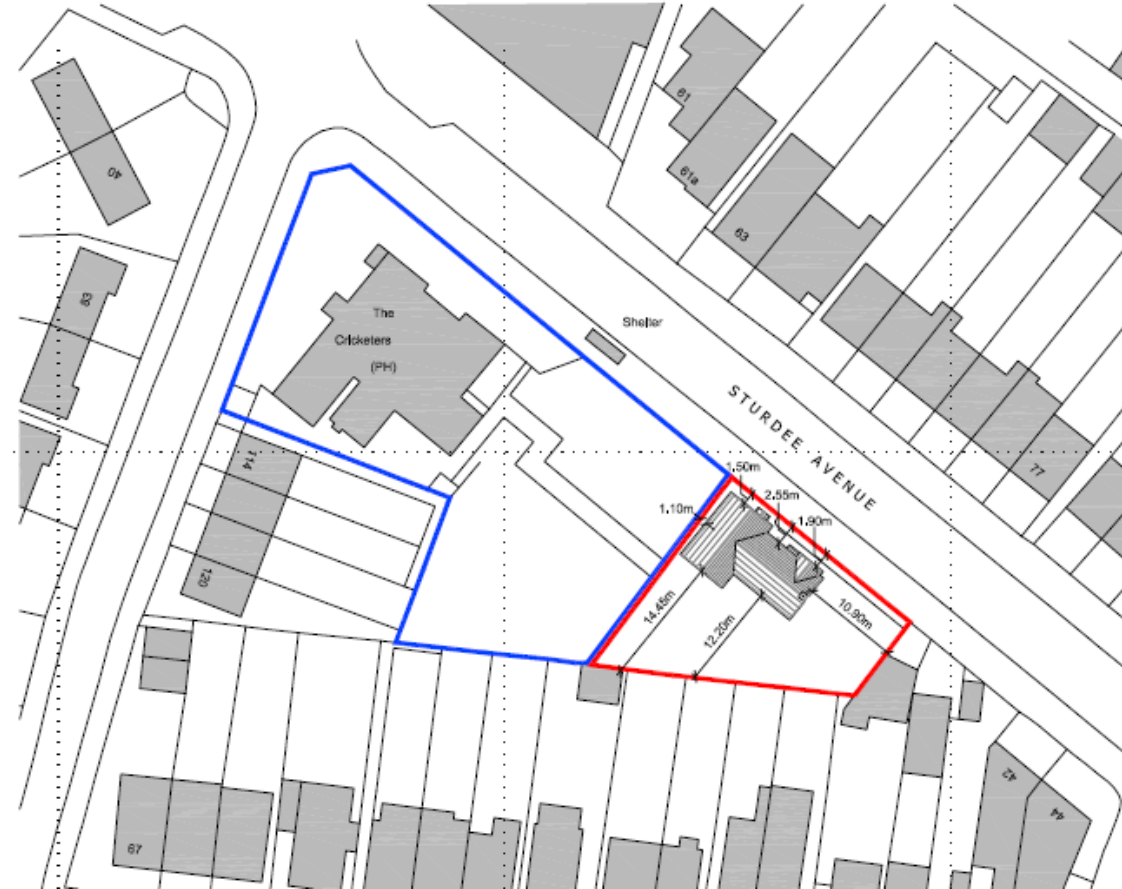
View from pub garden



Street scene



Site Plan

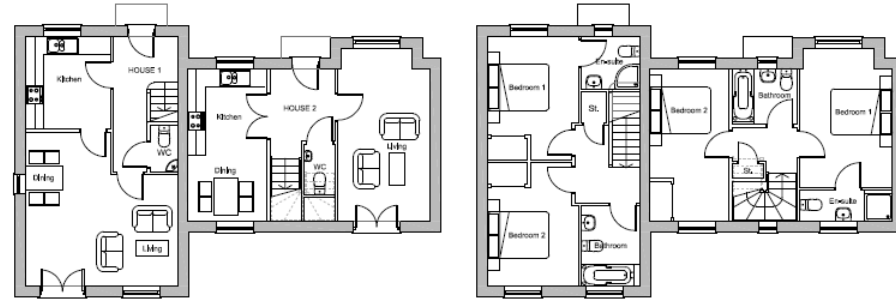


Proposed site layout



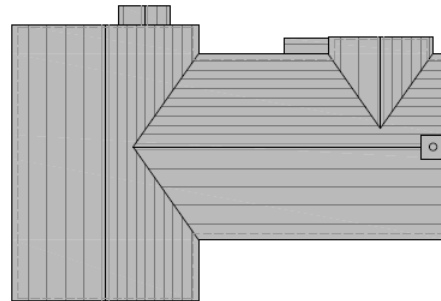
Proposed floor plans

PLOT 1 & 2
2b, 4p @ 80m²



Proposed Ground Floor Plan

Proposed First Floor Plan

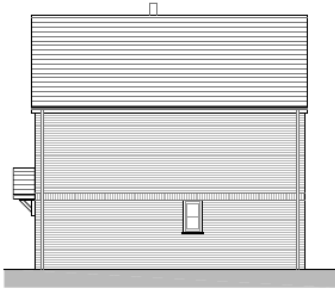


Proposed Roof Layout

Proposed elevations



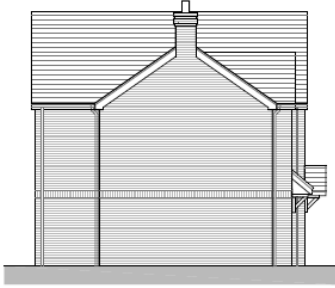
Proposed North East Elevation



Proposed North West Elevation



Proposed South West Elevation



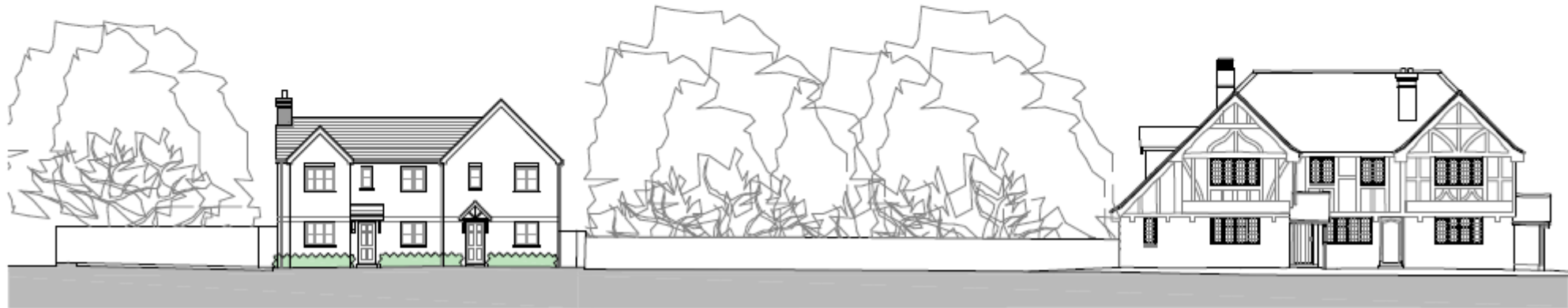
Proposed South East Elevation

- Elevations
- ① Brickwc
 - ② Brickwc
 - ③ White p
 - ④ Painted
 - ⑤ Clay ro
 - ⑥ White p
 - ⑦ UPVC r
 - ⑧ Painted
 - ⑨ White p
- Notes:
- * Denote

Street scene showing existing PH

NOTES

GENERAL NOTES
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
3. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

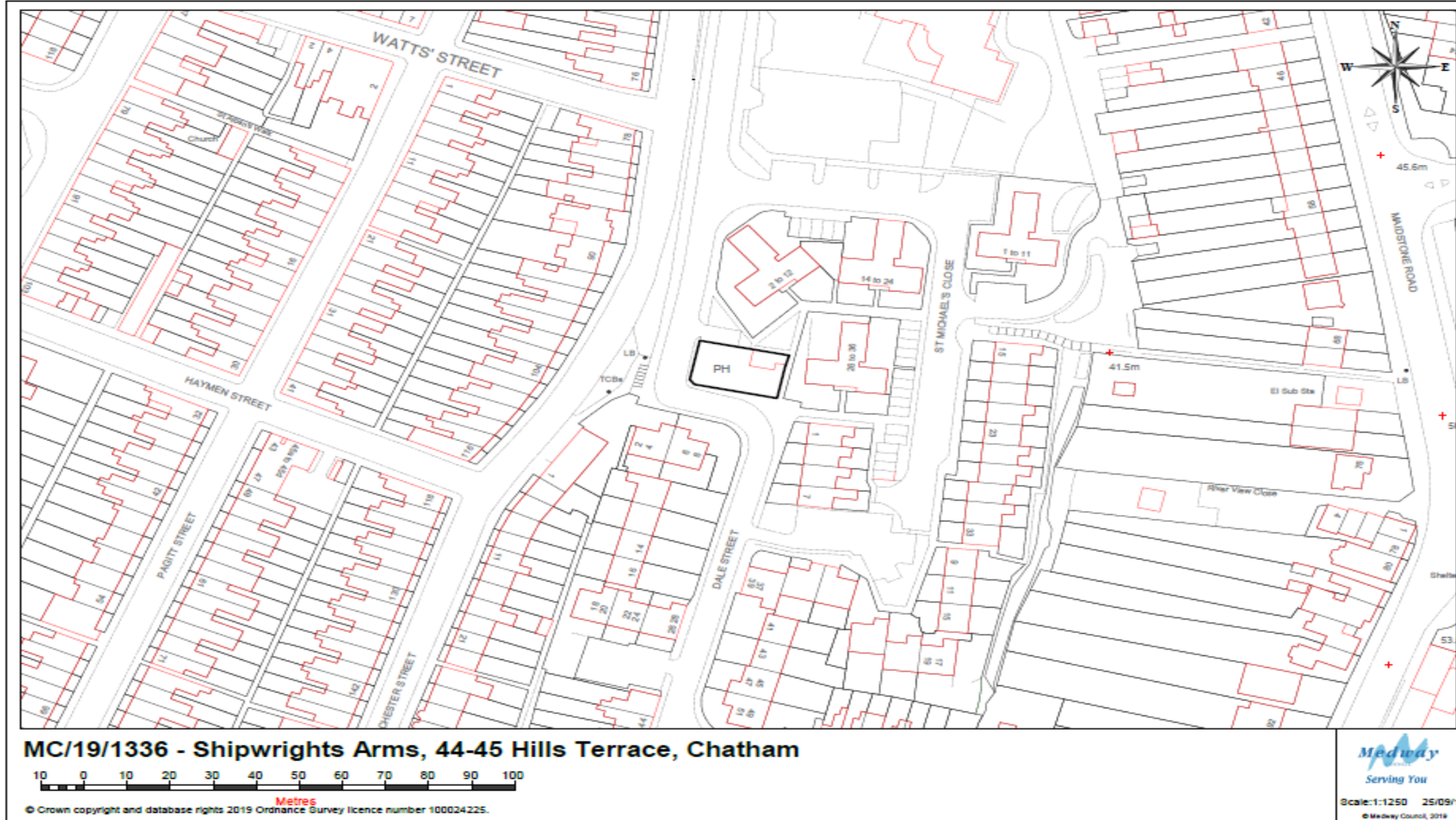


Proposed Context Elevation

MC/19/1336

Shipwrights Arms, 44-45 Hills Terrace,
Chatham

Location plan



Shipwrights Arms



View from Dale Street



View from Rochester Street



Rear elevation



View of bar



Proposed first floor amenity area



Historical context 1932

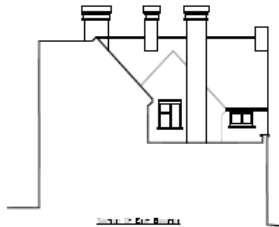
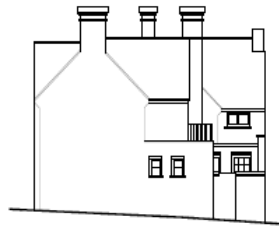
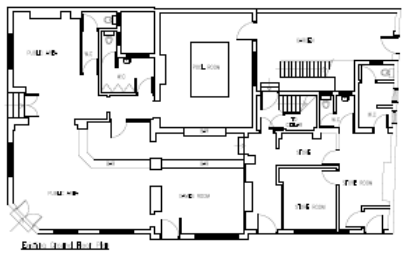
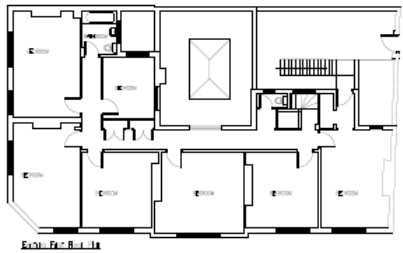
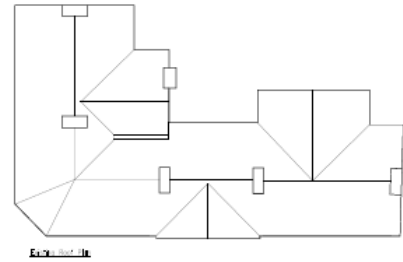


Site location plan

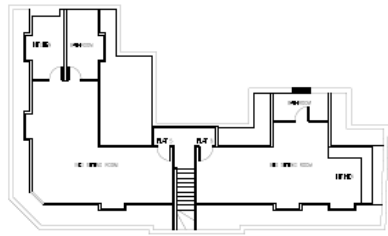


Site Location Plan
(Scale: 1:1250)

Existing plans and elevations



Proposed plans and elevations



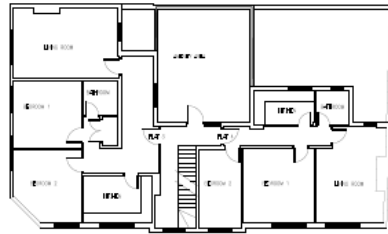
Proposed Floor Plan



Proposed Front Elevation



Proposed Front Elevation



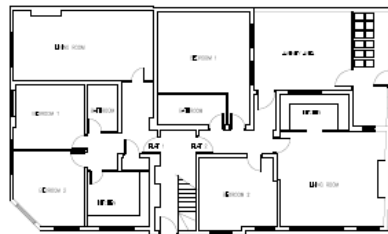
Proposed Floor Plan



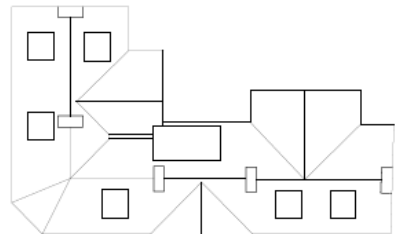
Proposed Section



Proposed Section



Proposed Floor Plan



Proposed Elevation



Proposed Section

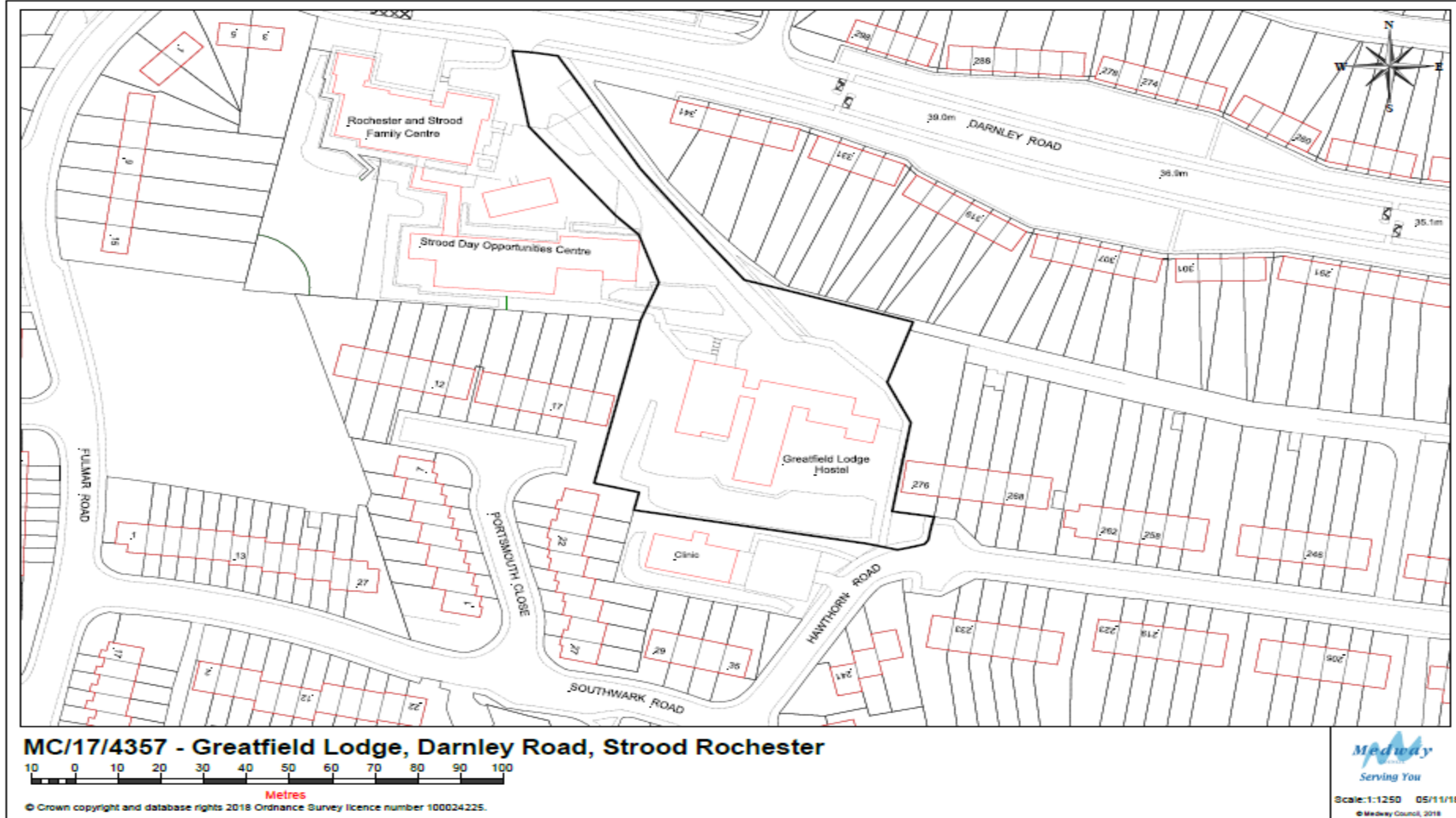


Proposed Section

MC/17/4357

Greatfield Lodge, Darnley Road, Strood
Rochester

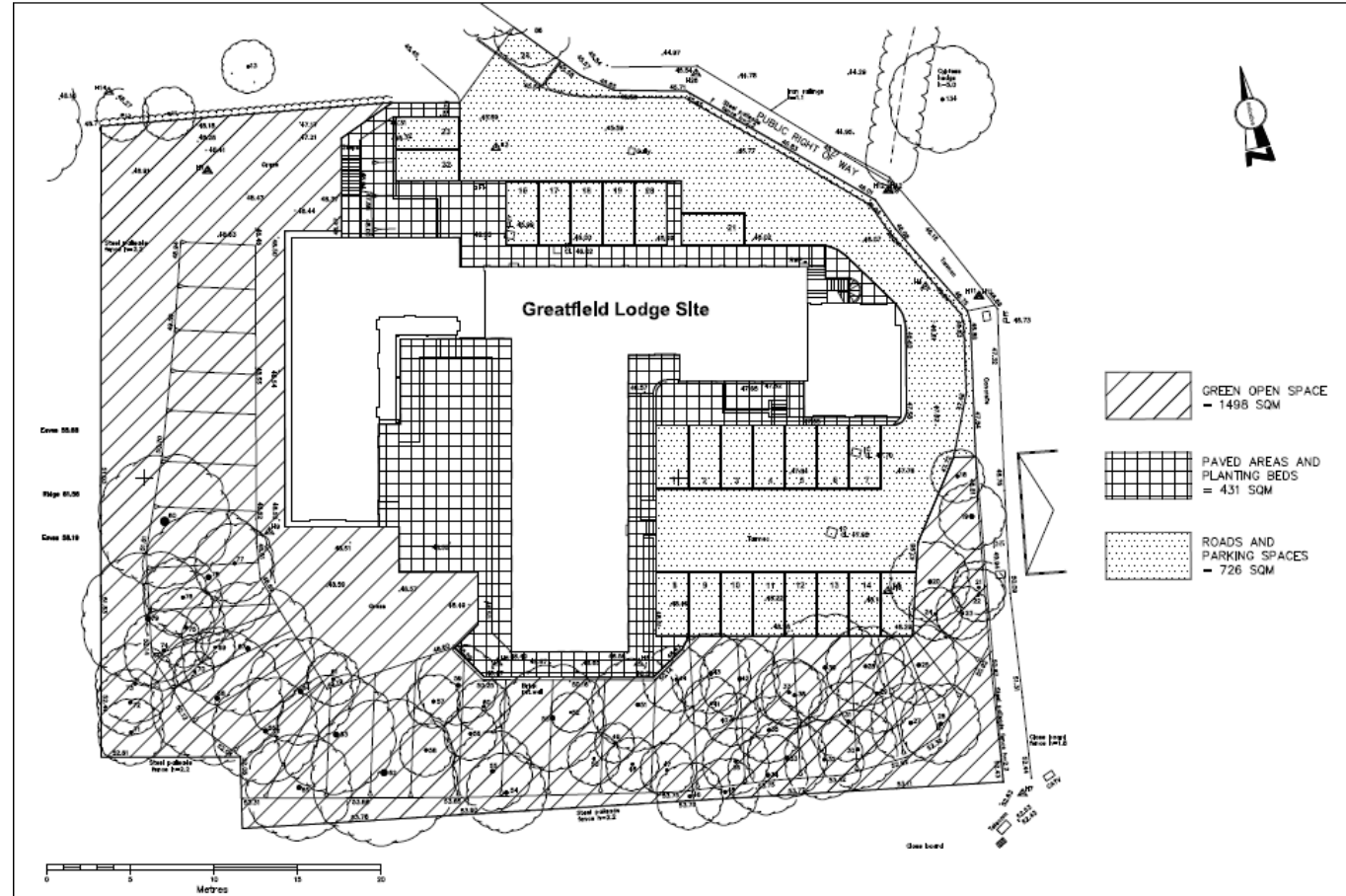
Location plan



Site plan for MC/13/1469 (approved)



Approved layout (MC/13/1469)



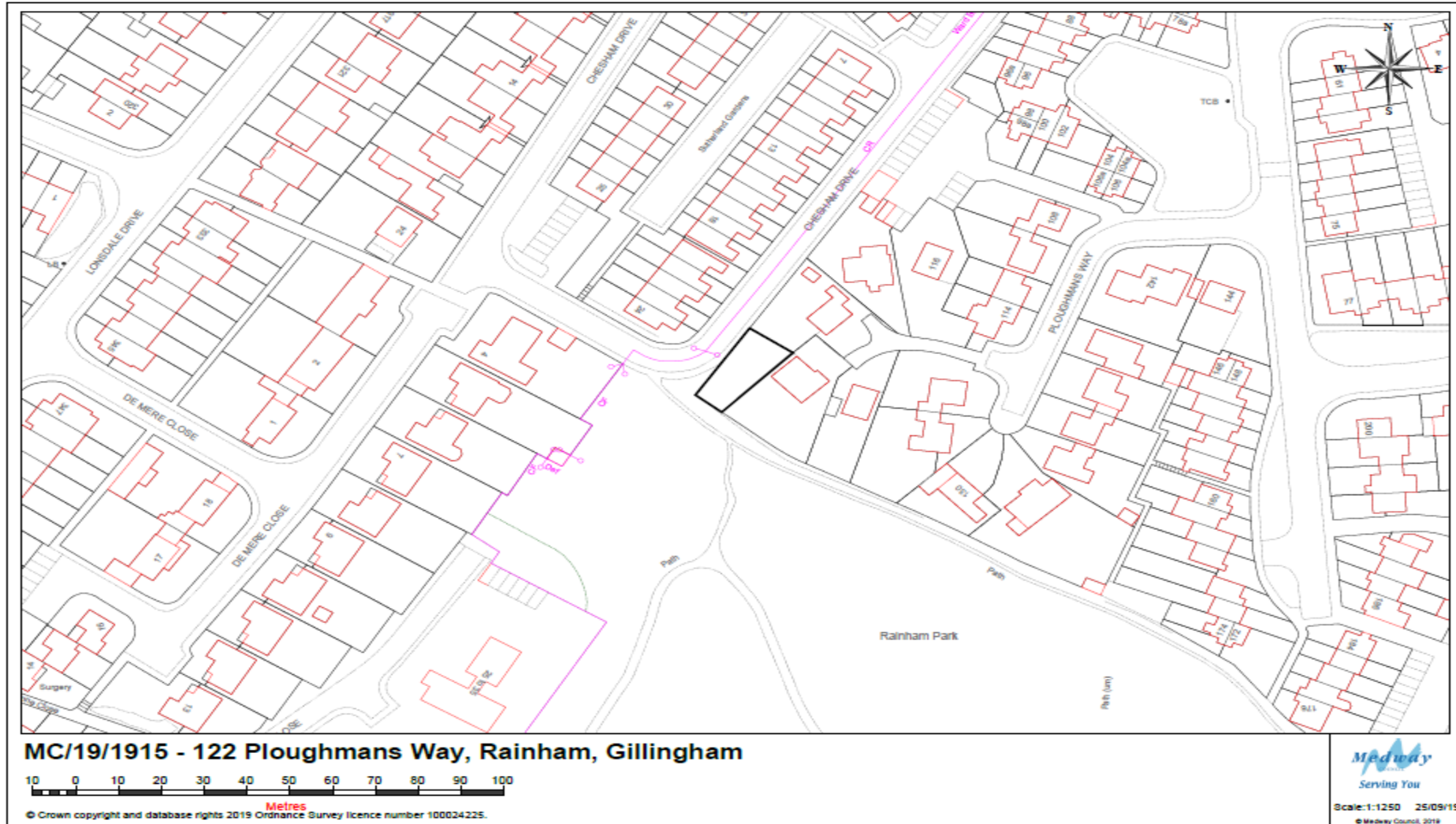
Proposed layout for MC/17/4357 showing new access, additional parking and landscaping



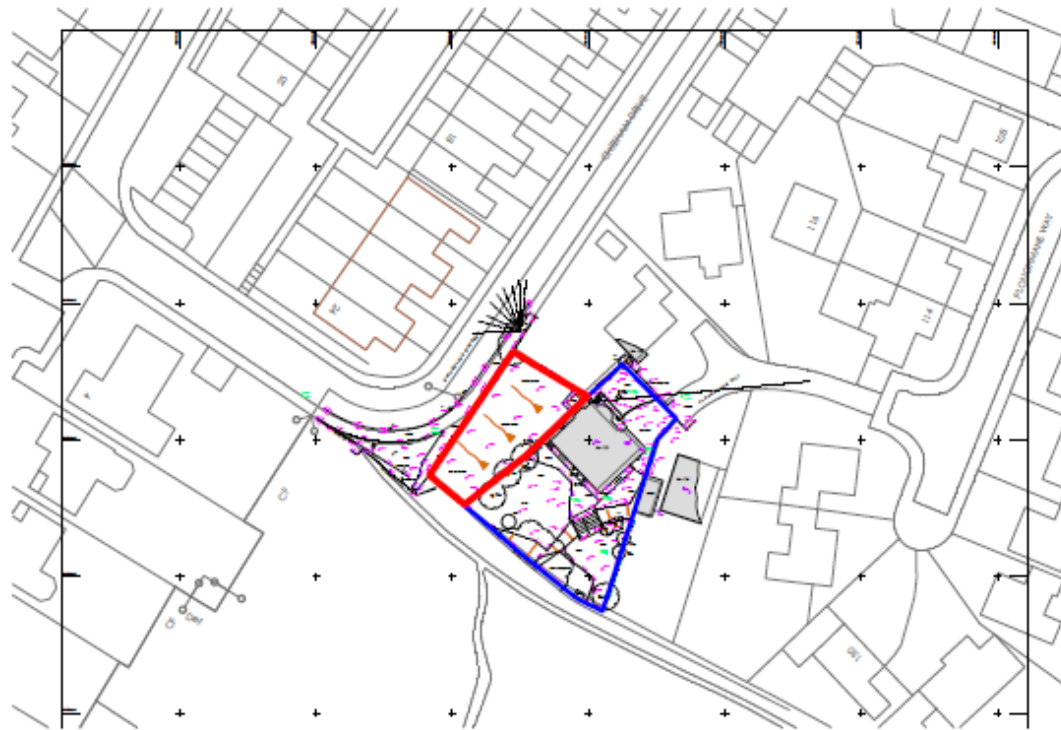
MC/19/1915

122 Ploughmans Way, Rainham,
Gillingham

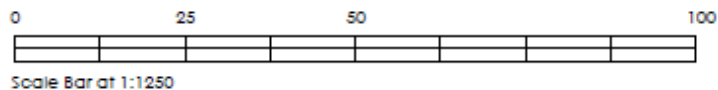
Location plan



Existing Site Location Plan/View from highway (inc neighbours dwelling to north east)



LOCATION PLAN 1-1250



Scale Bar at 1:1250



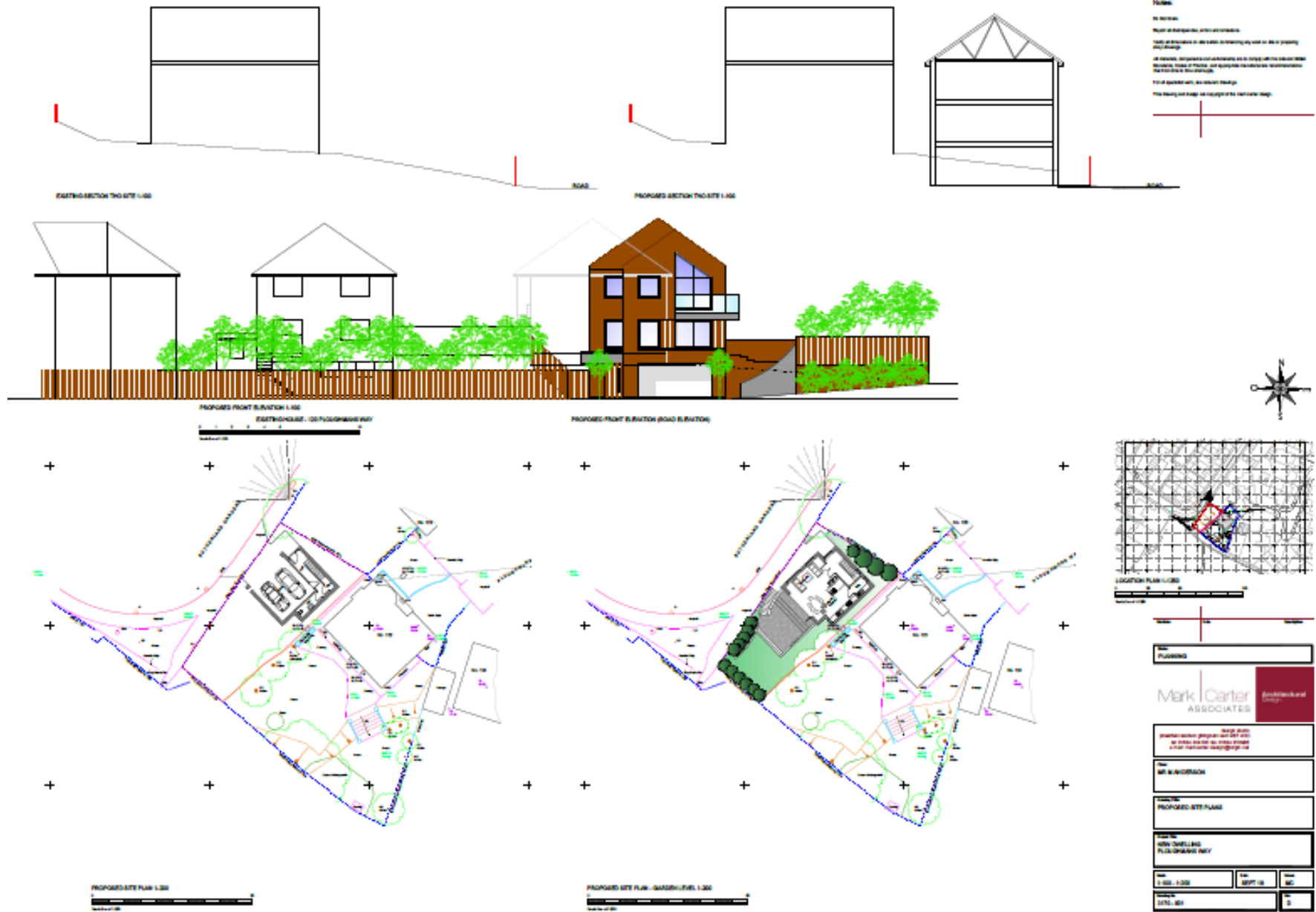
Street Scene and View of Existing site boundary with highway



Condition of site / Neighbouring housing to north east



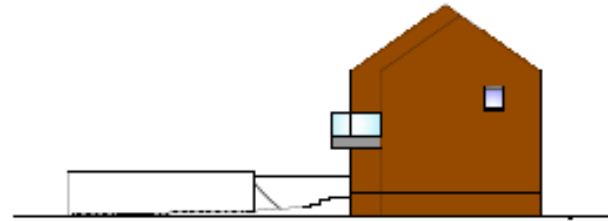
MC/18/3561 – Site Layout Plan



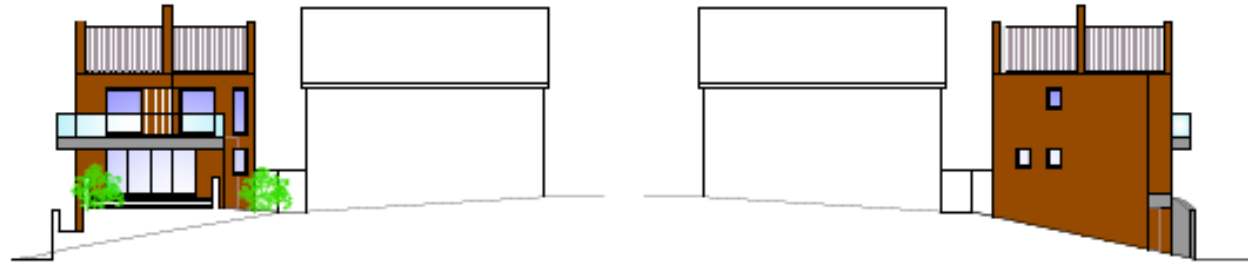
MC/18/3561 – Elevations



PROPOSED FRONT ELEVATION (ROAD ELEVATION)

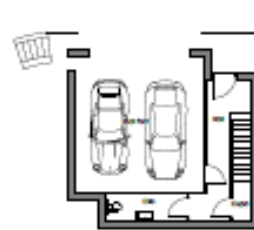


PROPOSED REAR ELEVATION



PROPOSED EAST ELEVATION (GARDEN ELEVATION)

PROPOSED WEST ELEVATION



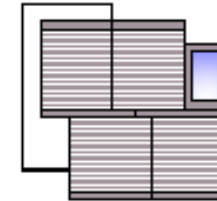
PROPOSED GROUND FLOOR PLAN
Area (2nd) (Building Design)
Total (1.1ha)



PROPOSED FIRST FLOOR PLAN
Area (2nd)



PROPOSED SECOND FLOOR PLAN
Area (2nd)



PROPOSED ROOF PLAN



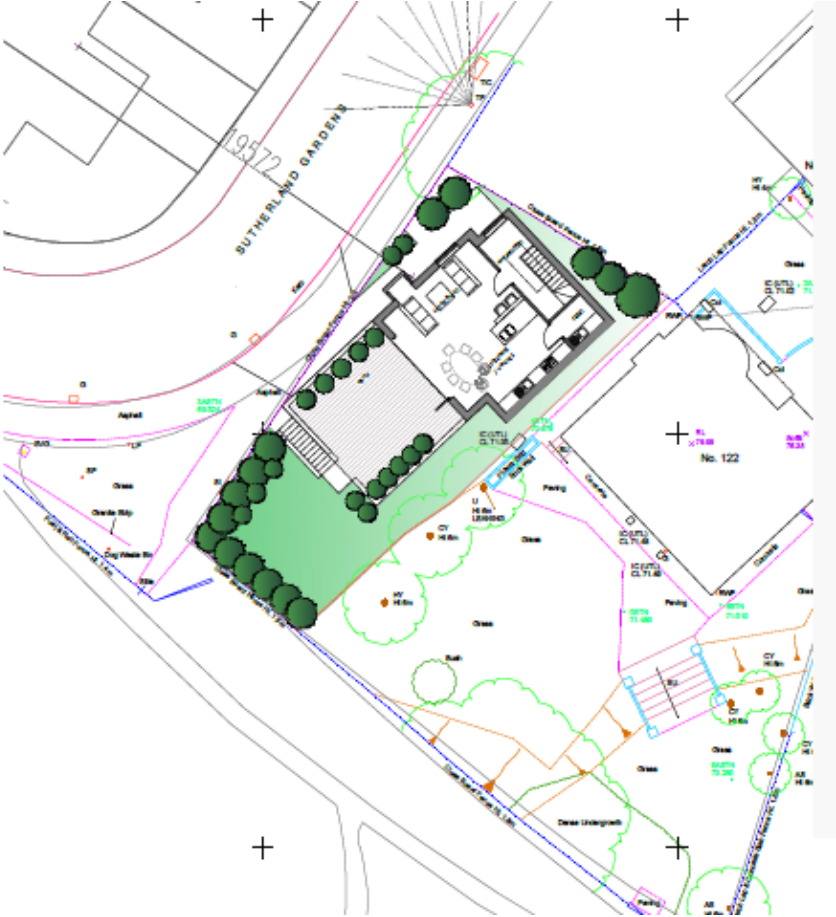
PROPOSED PLANS 1:500

Notes:

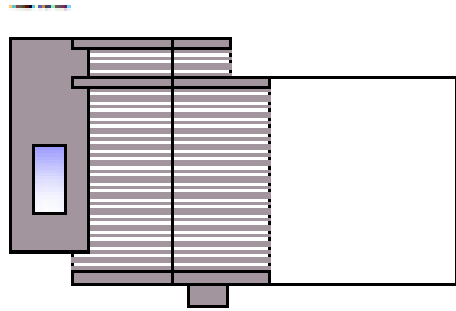
- 1. All elevations are shown in perspective.
- 2. All elevations are shown in perspective.
- 3. All elevations are shown in perspective.
- 4. All elevations are shown in perspective.
- 5. All elevations are shown in perspective.
- 6. All elevations are shown in perspective.
- 7. All elevations are shown in perspective.
- 8. All elevations are shown in perspective.
- 9. All elevations are shown in perspective.
- 10. All elevations are shown in perspective.

Planning	
Project name: [redacted] Site: [redacted] Date: [redacted]	
Prepared by: [redacted] Checked by: [redacted]	
Title: PROPOSED ELEVATIONS	
Date: [redacted]	
Date: [redacted]	Date: [redacted]
Title: [redacted]	Date: [redacted]

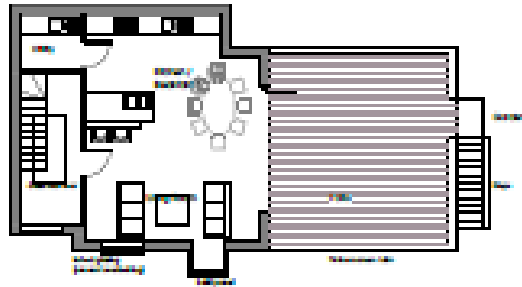
Proposed Site Layout



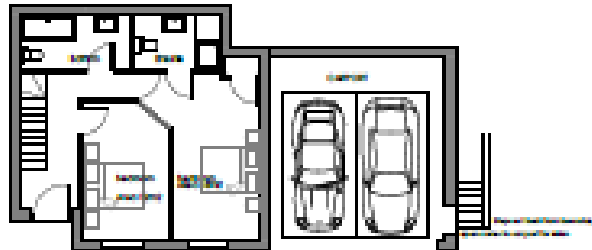
Proposed Floor Plan and Streetscape



PROPOSED ROOF PLAN



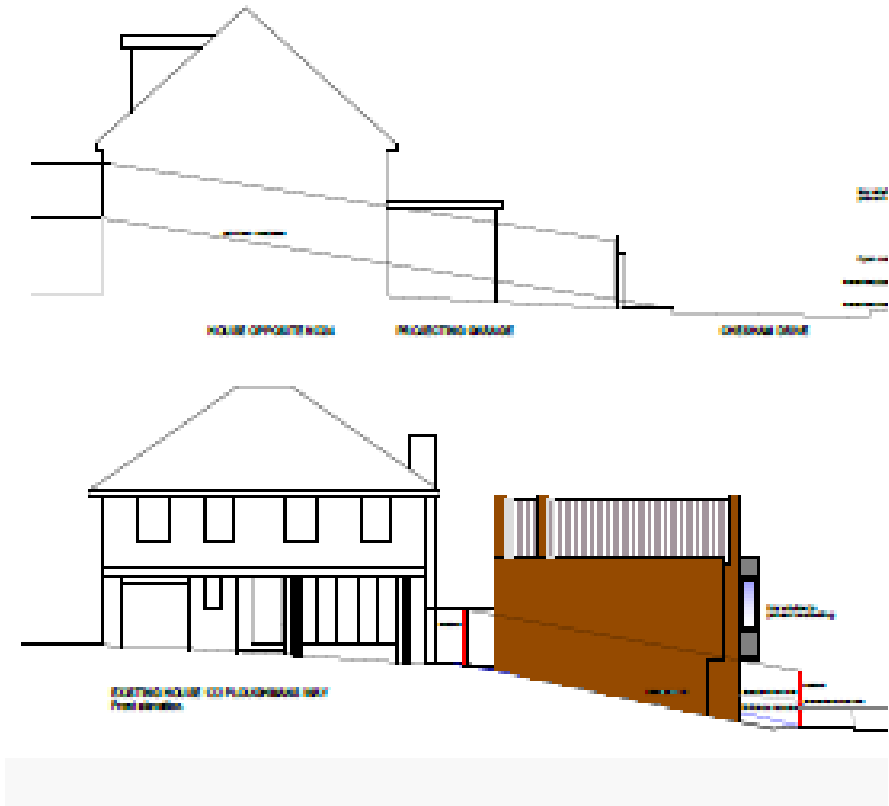
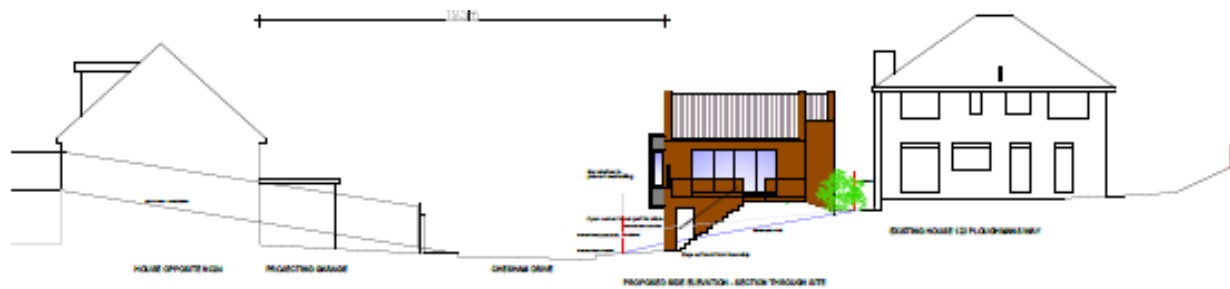
PROPOSED FIRST FLOOR PLAN



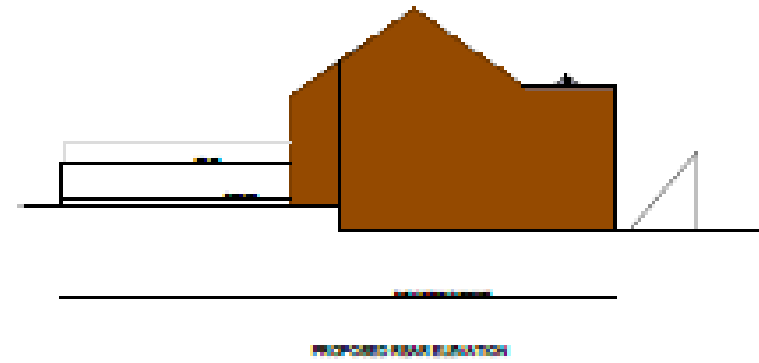
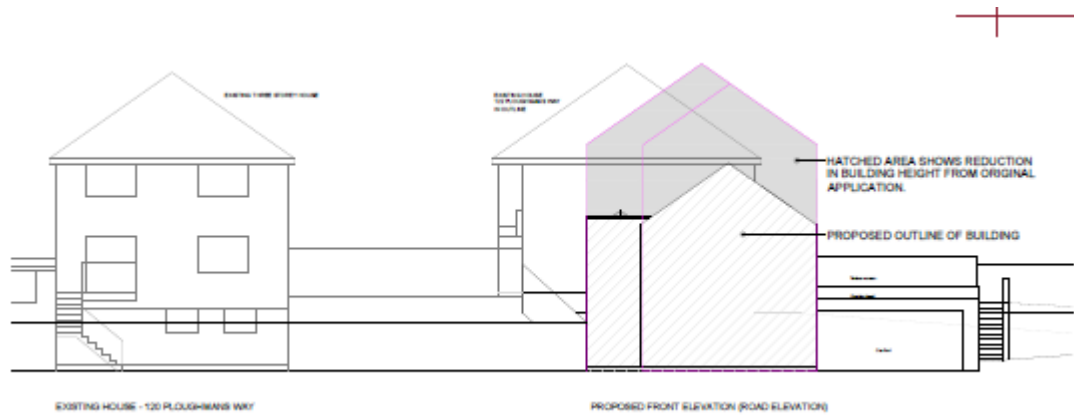
PROPOSED SECOND FLOOR PLAN
Garage (2 cars)
Living Area



Site Section, Proposed Rear and Side Elevations and Existing Side Elevation (to north east side)



Streetscene (with shaded area representing previous scheme refused) and Proposed Side Elevation



Proposed Layout



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