

# Planning Committee – Supplementary agenda

**A meeting of the Planning Committee will be held on:**

**Date:** 26 September 2018

**Time:** 6.30pm

**Venue:** Meeting Room 9 - Level 3, Gun Wharf, Dock Road, Chatham ME4 4TR

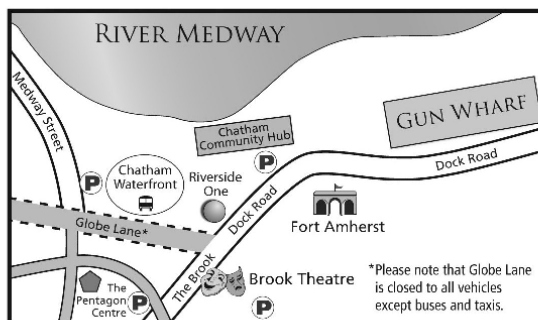
## Items

**11 Additional Information - Presentation**

**(Pages  
3 - 64)**

For further information please contact **Ellen Wright, Democratic Services Officer** on Telephone: 01634 332012 or Email: [democratic.services@medway.gov.uk](mailto:democratic.services@medway.gov.uk)

**Date: 26 September 2018**



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available on our website  
**[www.medway.gov.uk](http://www.medway.gov.uk)**

A summary of this information can be made available in other formats from **01634 333333**

If you have any questions about this meeting and you want to speak to someone in your own language please ring **01634 335577**

বাংলা 331780  
中文 331781

ગુજરાતી 331782  
हिंदी 331783

ਪੰਜਾਬੀ 331784  
Polski 332373

کوردی 331841  
এহেৎশফব 331786

اروو 331785  
فارسی 331840

Русский 332374  
Lietuviškai 332372



# Planning Committee

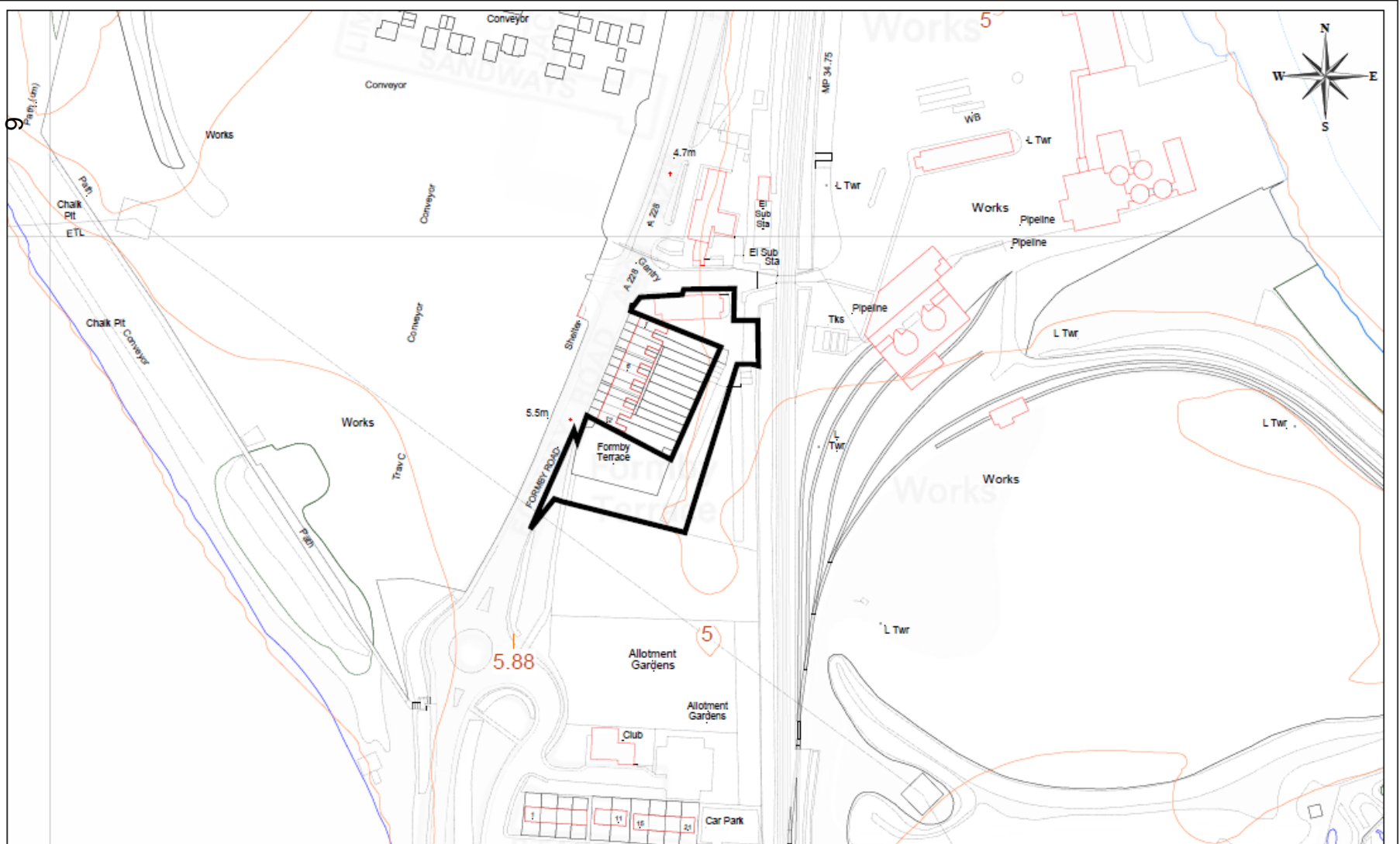
26 September 2018

**MC/18/0705**

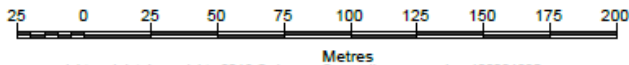
Land at Brickfields, Darland Farm,  
Pear Tree Lane,  
Hempstead

**MC/18/0175**

Land East of Formby Road (Adjacent  
and Rear of 1-12 Formby Terrace),  
Halling



**MC/18/0175 Land East of Formby Road (Adjacent and Rear of 1-12 Formby Terrace Halling Rochester)**



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Scale: 1:2500 25/08/18  
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# Application site and its wider surrounding





# Aerial photo of the application site

8





# Access drive from the location of the traffic lights off Formby Road





# Parameters plan submitted in respect of Hybrid application area in purple is for employment use









# Elevation and floor plans of the terrace of 5 houses



Front Elevation  
1:100



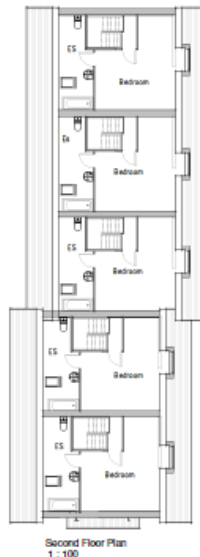
Rear Elevation  
1:100



Ground Floor Plan  
1:100



First Floor Plan  
1:100



Second Floor Plan  
1:100



Side Elevation  
1:100



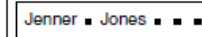
Side Elevation  
1:100

A. Named floor finishes identified. 13/07/18  
B. Elevation treatment, colours and height reduced. 13/03/18

CLIENT: St Andrew Leisure Limited

JOB: Faraby Road, Haling, Rochester.

TYPE: Floor Plans and Elevations



3 Dulwich Mews, Ramsey,  
Folkestone, Kent, TN11 0JL  
Tel: 01843 833373  
Fax: 01843 833373  
Email: info@jennerandjones.co.uk  
www.jennerandjones.co.uk

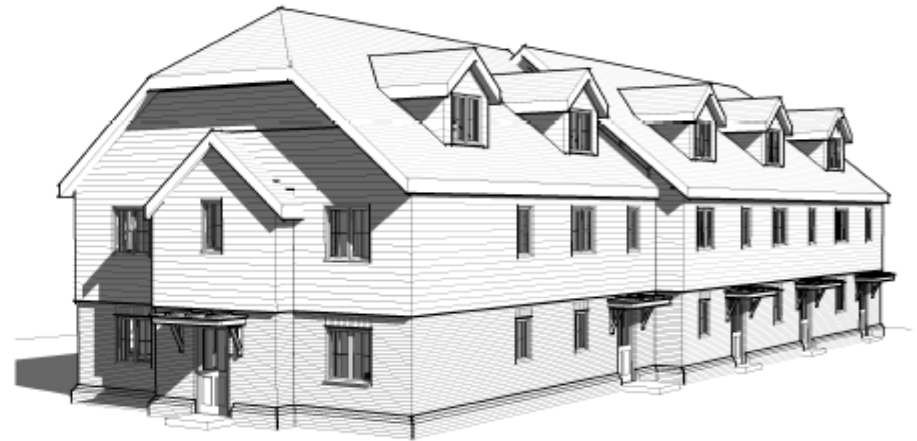
SCALE (All sheets)	DATE	CHECKED BY	DRAWN BY
1:100	01/18	AC	DM

JOB NUMBER: 117/9907/DWG/1/1  
SHEET NUMBER: 50 OF 50

# 14 Elevation of the terrace of 5 houses



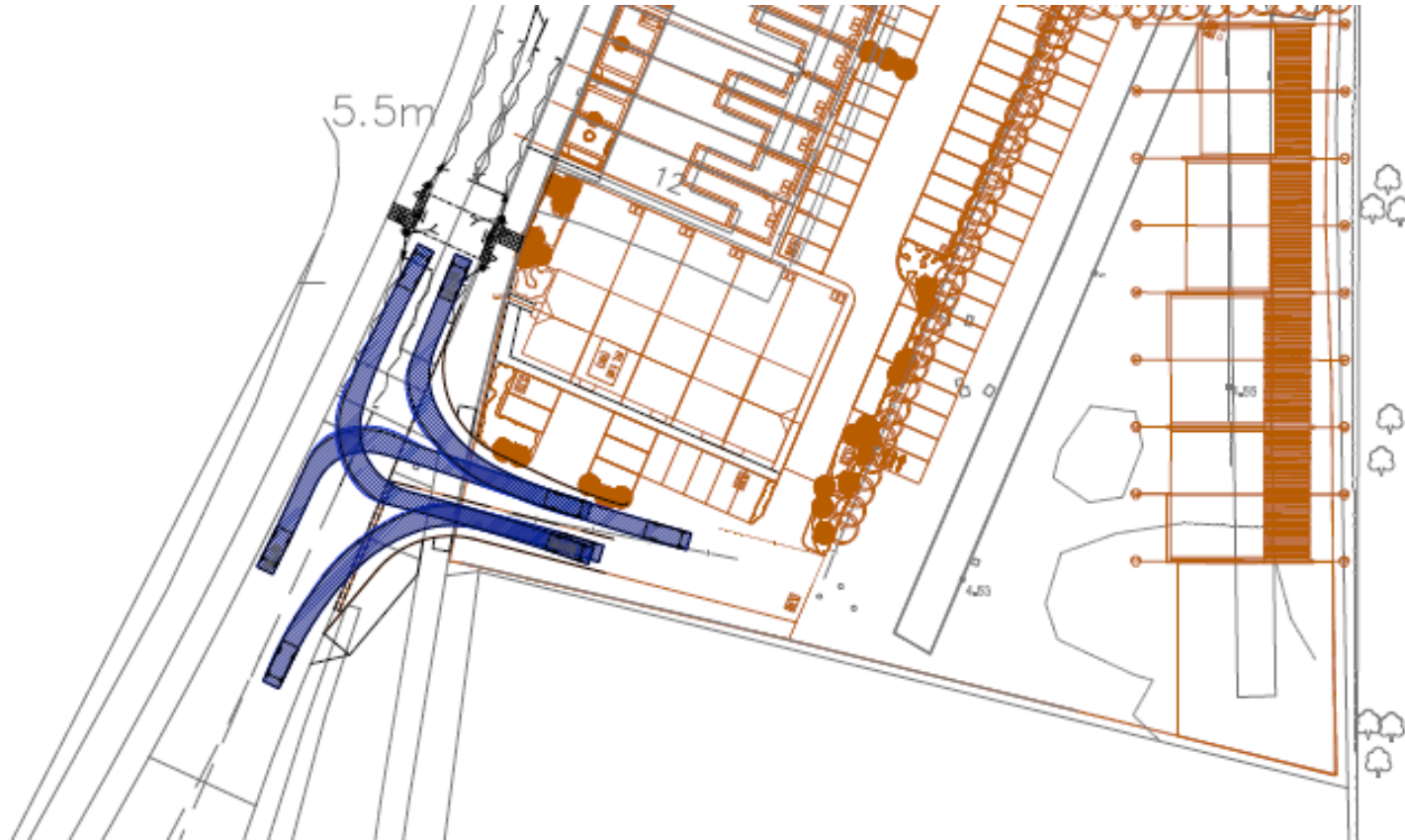
VIEW FROM CAR PARK



VIEW FROM FORMBY ROAD

# Vehicular access to and from the site for cars

ESTATE

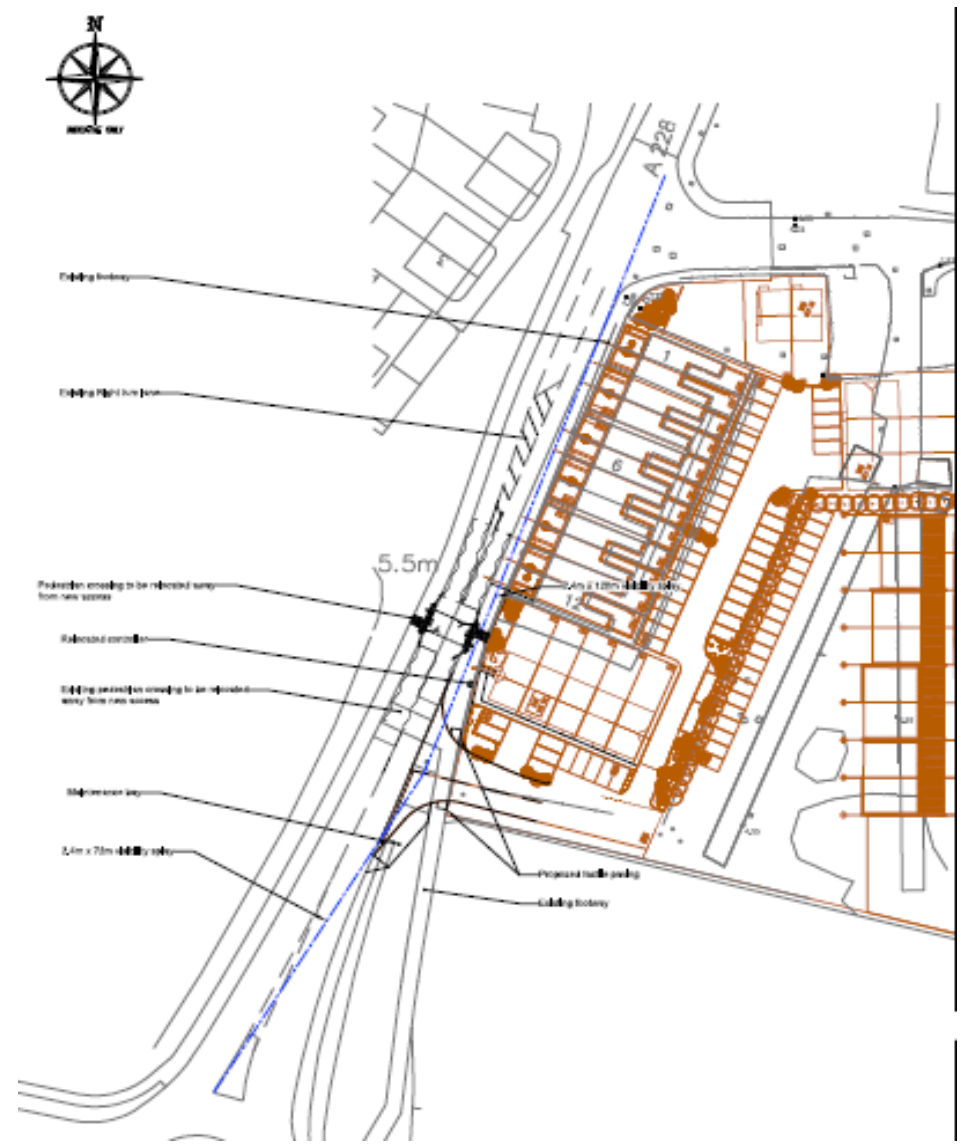


# Refuse vehicles movement and turning access to the residential car parking area





# New location of toucan crossing



CGI view from the rear towards southwest,  
the proposed development in relation to the  
rear aspect of the Formby terrace houses



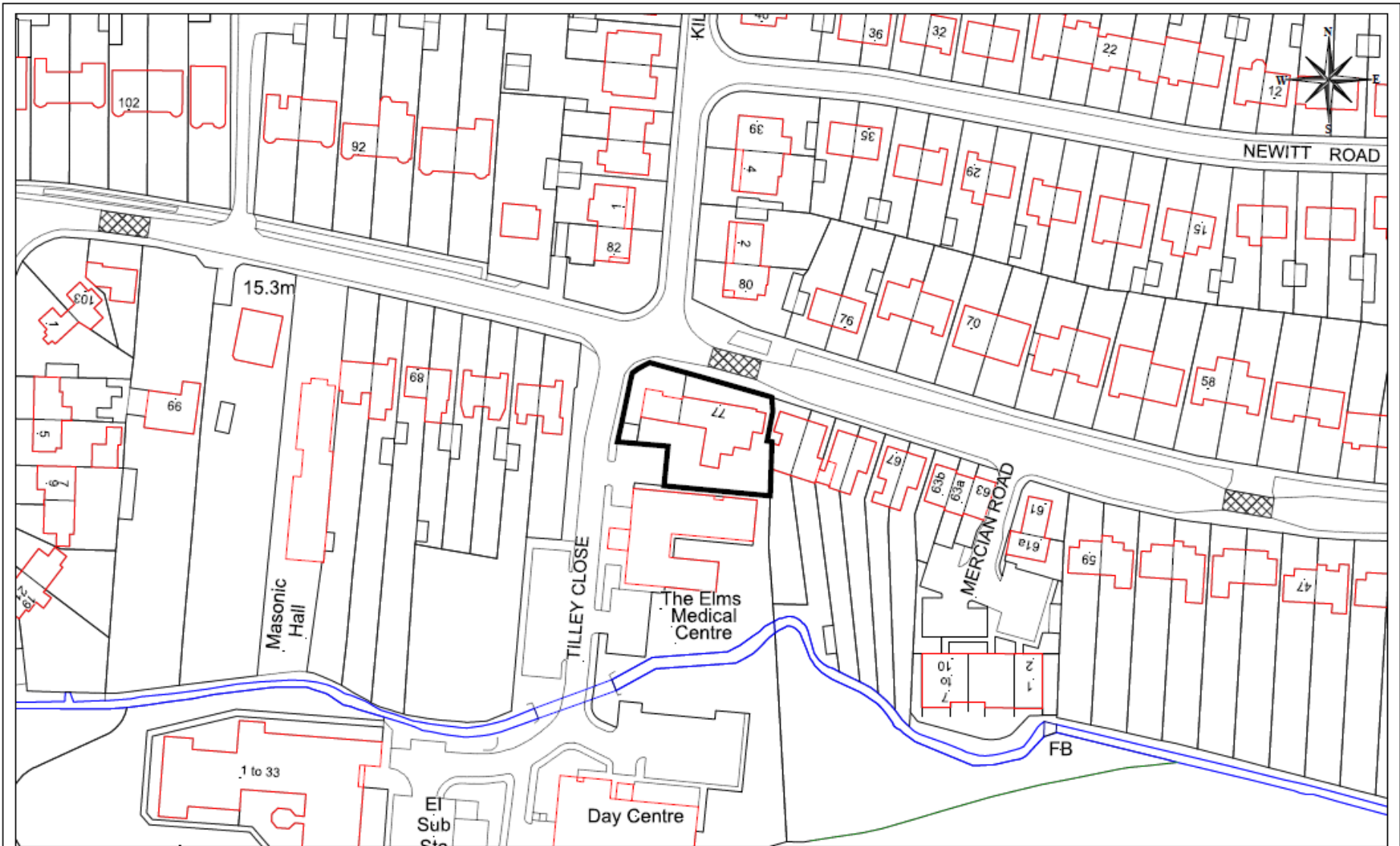
# CGI street view northeast, the proposed development in relation to the Formby Terrace houses



**MC/18/1854**

77 Main Road, Hoo St Werburgh,  
Rochester





**MC/18/1854 - 77 Main Road, Hoo St Werburgh, Rochester**



Metres

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Scale: 1:1250 10/09/18

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# View of Application Site from Killick Road

22



# Existing parking area on the front





# Additional Parking on site, Tilley Close and relation to doctors staff car park

24



# Parking on Tilley Close



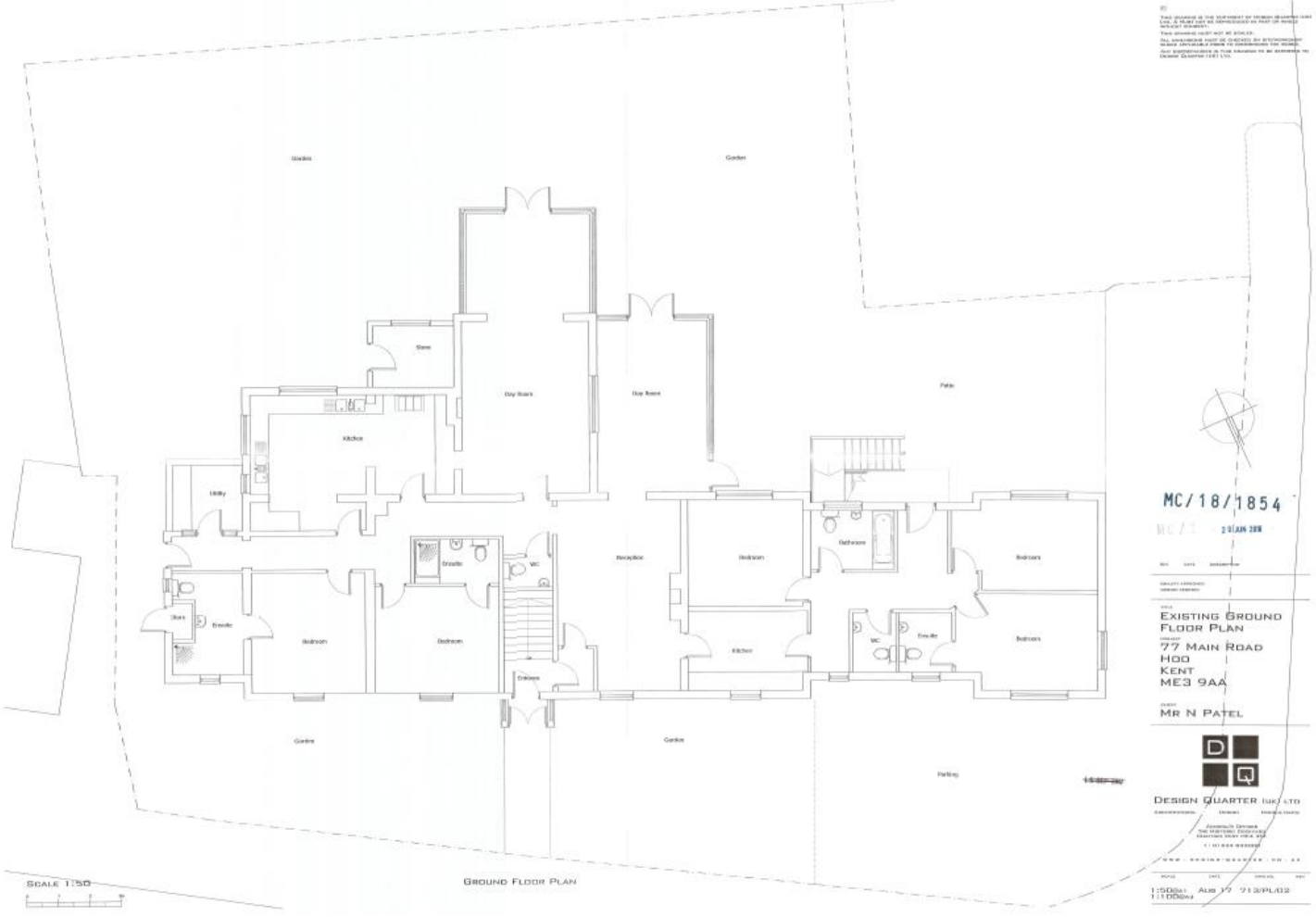


# Parking on Killick Road

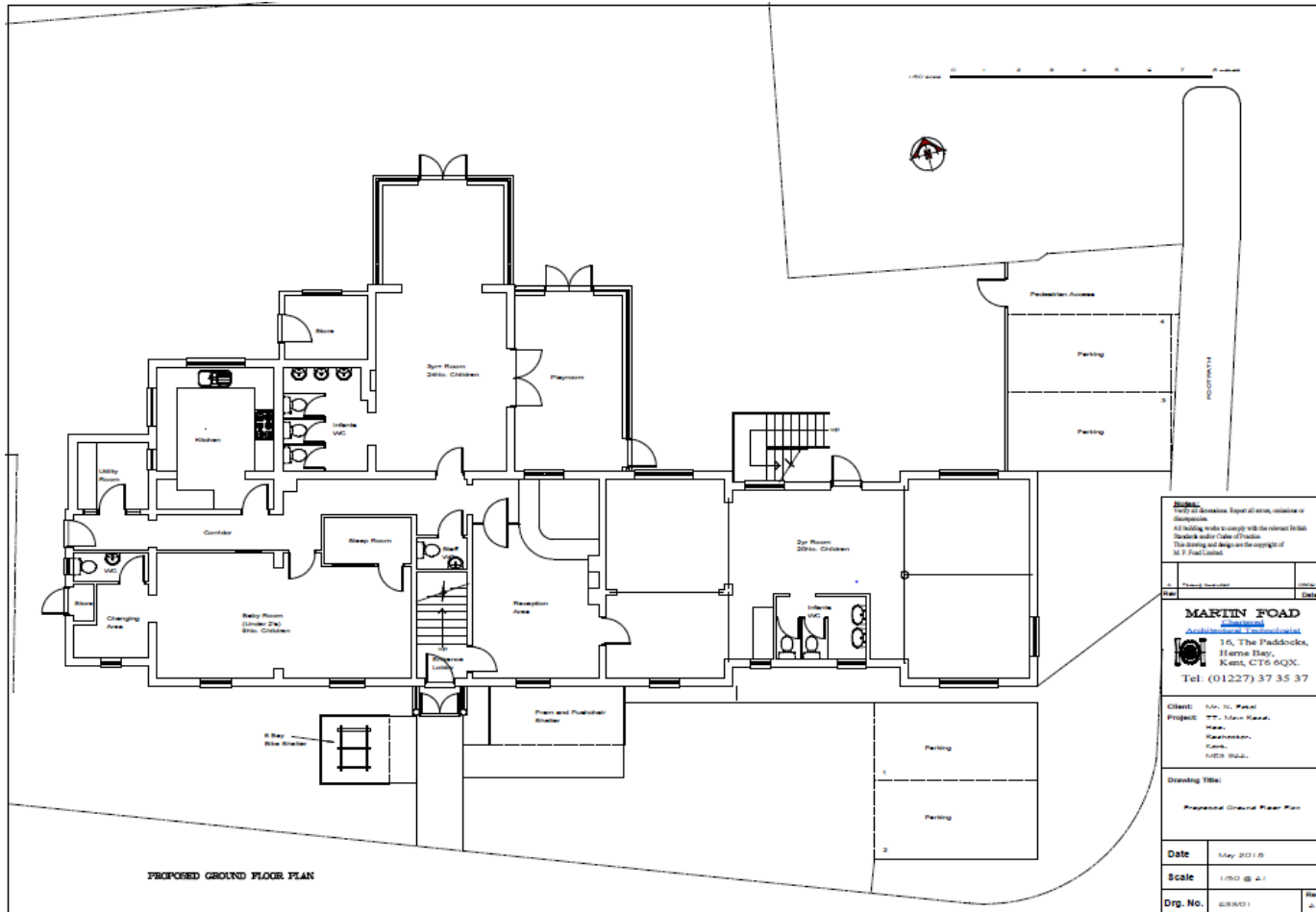
26



# Existing Ground Floor Plan



# Proposed Ground Floor Plan



**Notes:**  
 1. ALL dimensions, except all notes, columns or discriptions.  
 2. All building works to comply with the relevant British Standards and Code of Practice.  
 3. The drawing and design are the copyright of M. J. Foad Limited.

Drawn	Checked
Date	Date

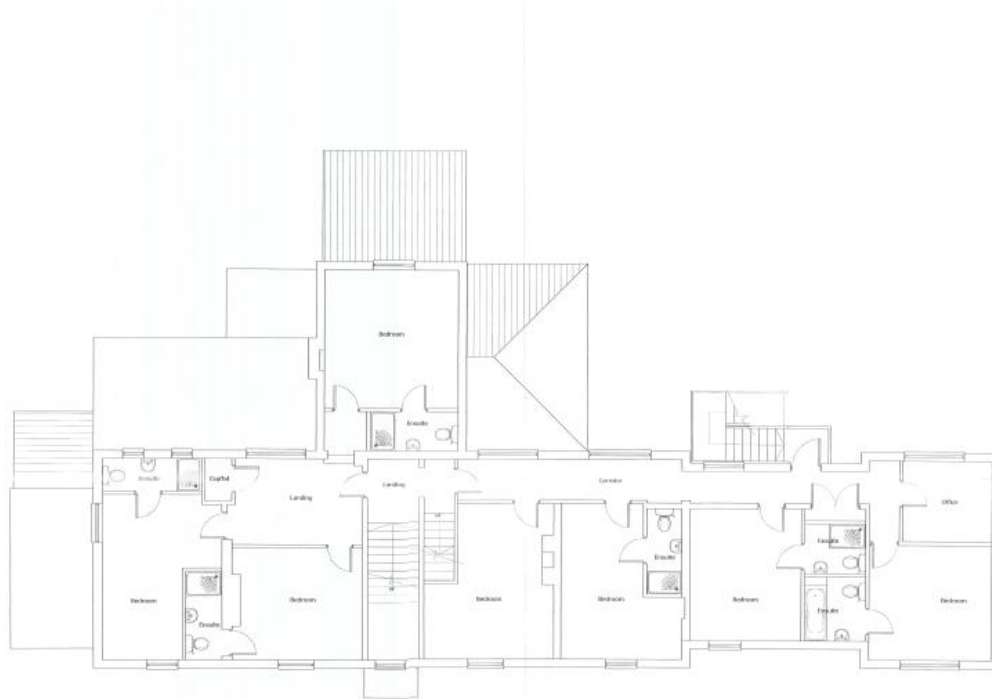
**MARTIN FOAD**  
 Architectural & Structural  
 16, The Paddocks,  
 Heme Bay,  
 Kent, CT5 6QX.  
 Tel: (01227) 37 35 37

Client: Mr. H. Patel  
 Project: T.P. Main Road,  
 Heme,  
 Hampshire,  
 Kent.  
 NERS 10/11.

Drawing Title:  
 Proposed Ground Floor Plan

Date	May 2018
Scale	1/50 @ A1
Drp. No.	63301
Rev	01

# Existing First Floor Plan



FIRST FLOOR PLAN

SCALE 1:50

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14 50' 00"

MC/18/1854

EXISTING FIRST FLOOR PLAN  
77 MAIN ROAD  
KENT  
ME3 9AA  
MR N PATEL

20 JUN 2018

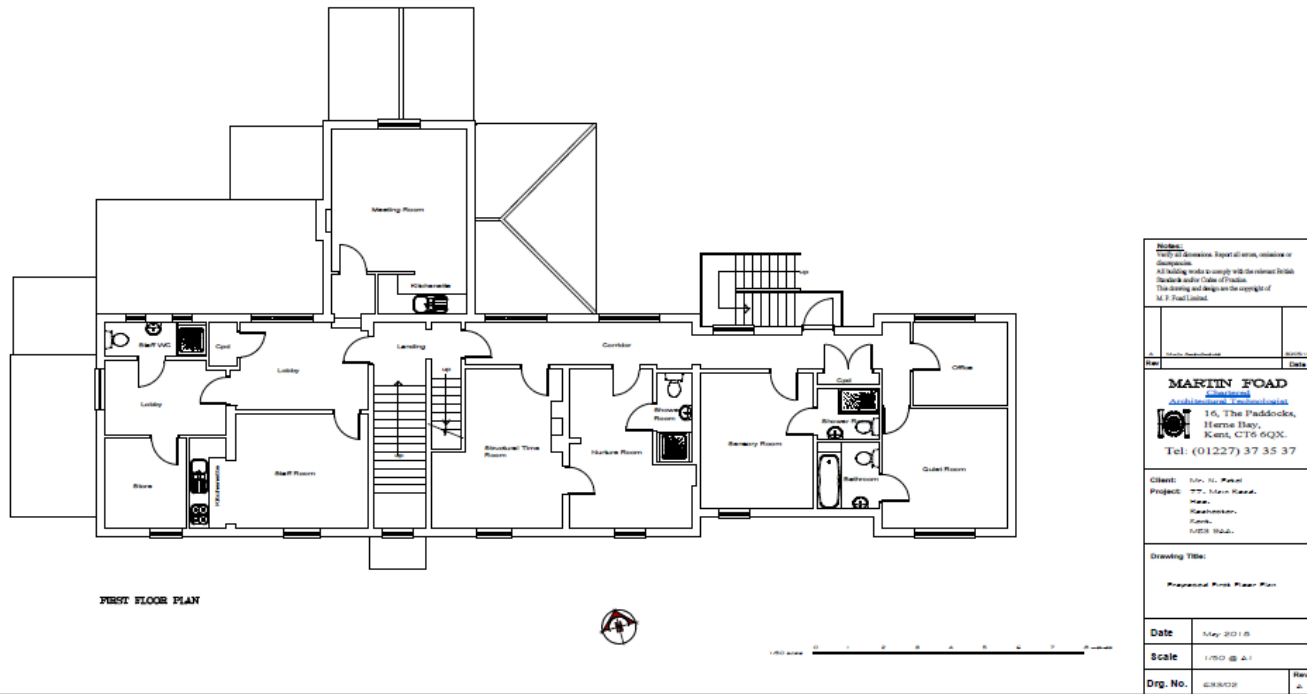


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1:50000 AUG 17 713/PL03

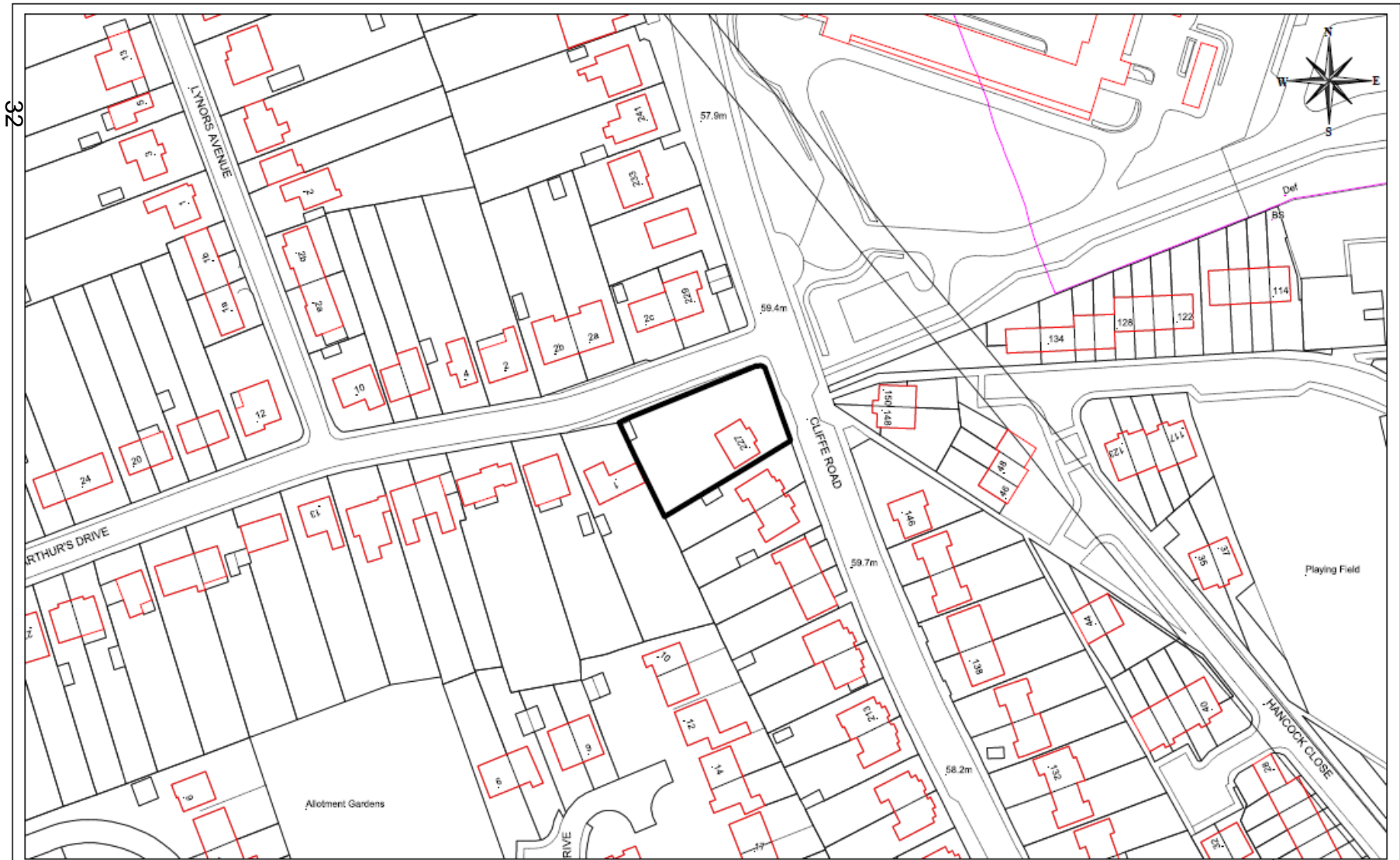


# Proposed First Floor Plan

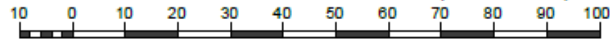


**MC/18/1759**

227 Cliffe Road, Strood,  
Rochester



**MC/18/1759 - 227 Cliffe Road, Strood, Rochester**



Metres

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# View of Site from Cliffe Road





# View of Site from King Arthur's Drive



# Parking to Rear of Site to Serve No. 227 (accessed from King Arthur's Drive)





# Houses Opposite (Cliffe Road)





# Houses Adjacent (King Arthur's Drive)

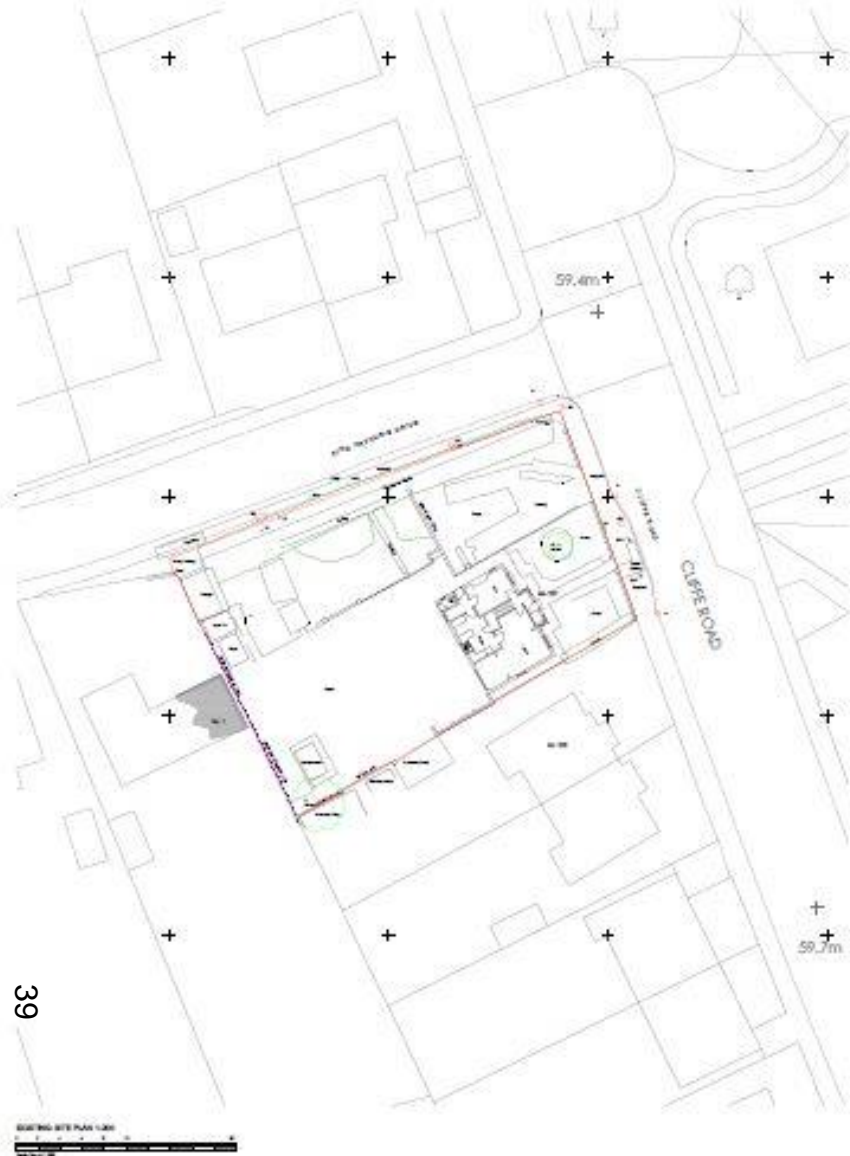




# Houses adjacent to site (Cliffe Road)



# Existing & Proposed Block Plans

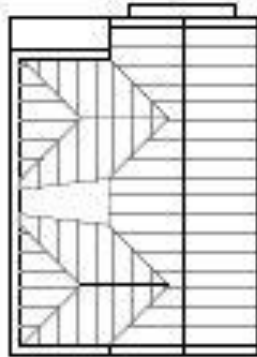


# Front Elevation and Floor Plans

40



PROPOSED FIRST FLOOR PLAN  
Floor one (shaded)  
Total area: 1185sq



PROPOSED ROOF PLAN



PROPOSED GROUND FLOOR PLAN  
Floor one (shaded)  
Total area: 1185sq

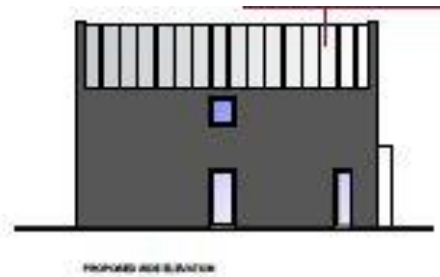


PROPOSED NEW DWELLING

3

STREET SIDE L.N

# Proposed Front, Rear & Side Elevations



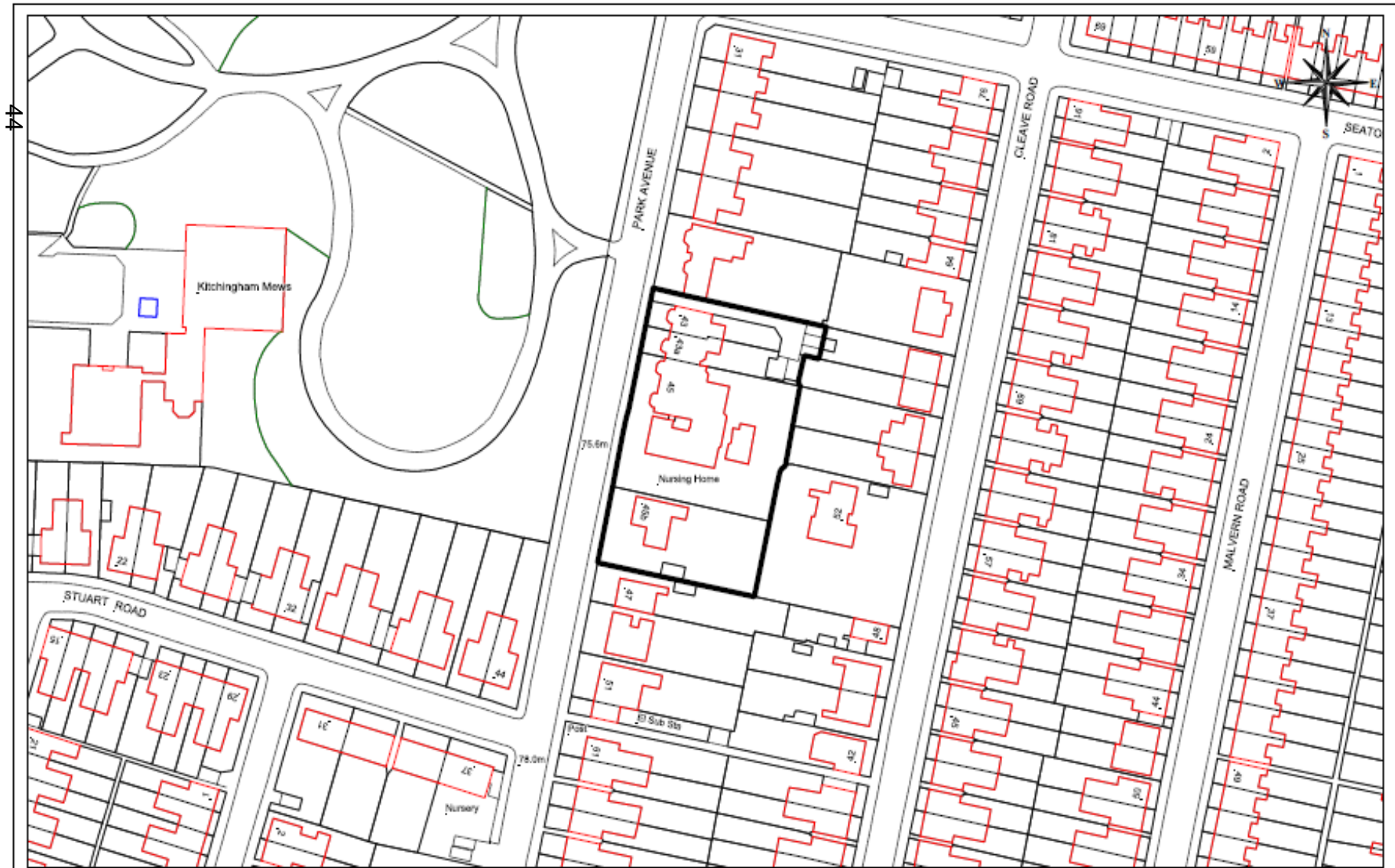


# CGI

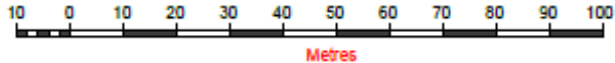


**MC/18/1803**

45 & 45B Park Avenue,  
Gillingham



**MC/18/1803 - 45 and 45B Park Avenue, Gillingham**



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# View of Application and location of proposed link extension





# Photo of 45B Park Avenue



# 45 View of Existing Care Home



# View from Gillingham Park





# Rear of 45B Park Avenue





# Rear of Nursing Home from 45B Park Avenue

50



# Properties to the rear of Application Site



# Properties to the rear of Application Site

52

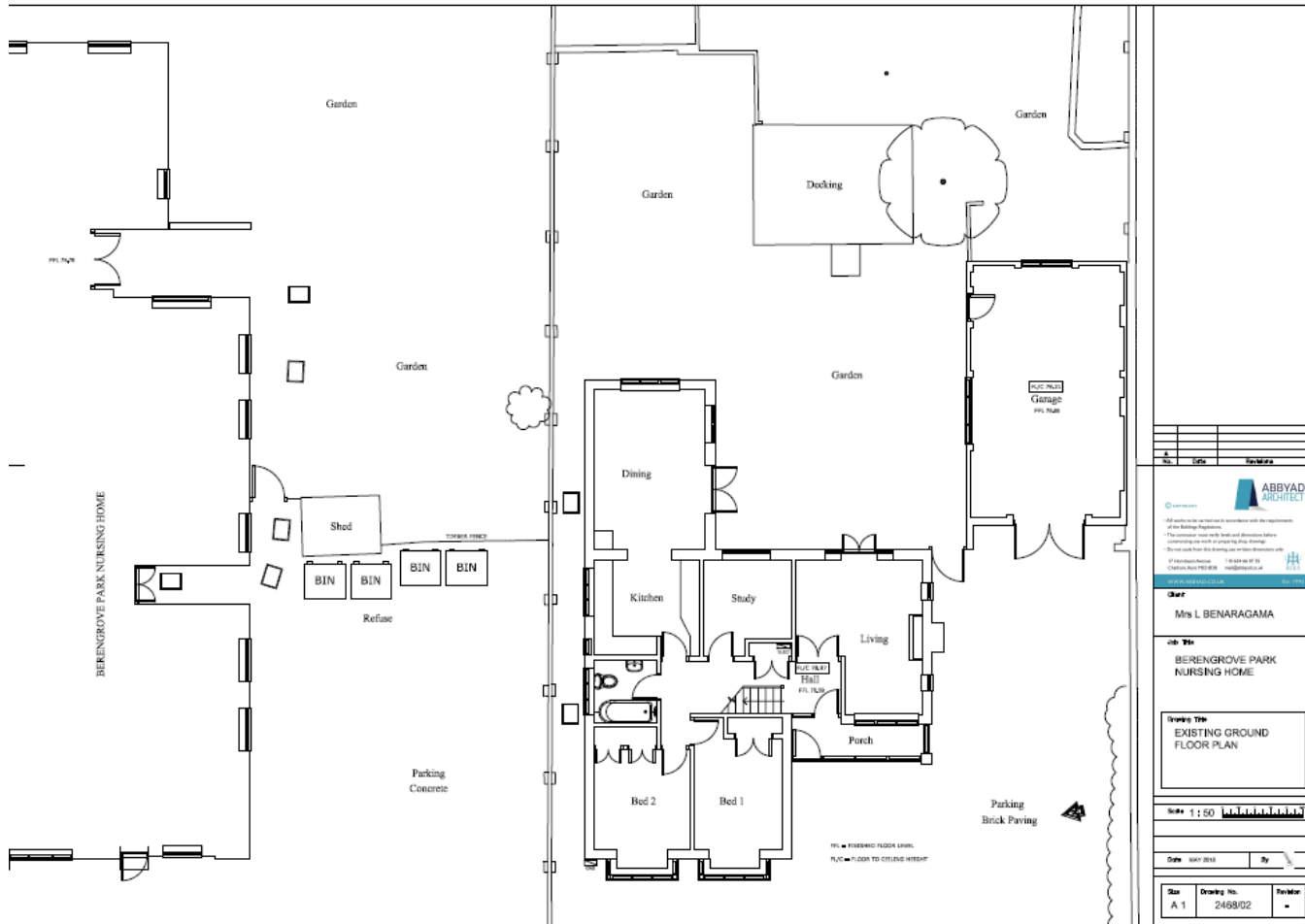




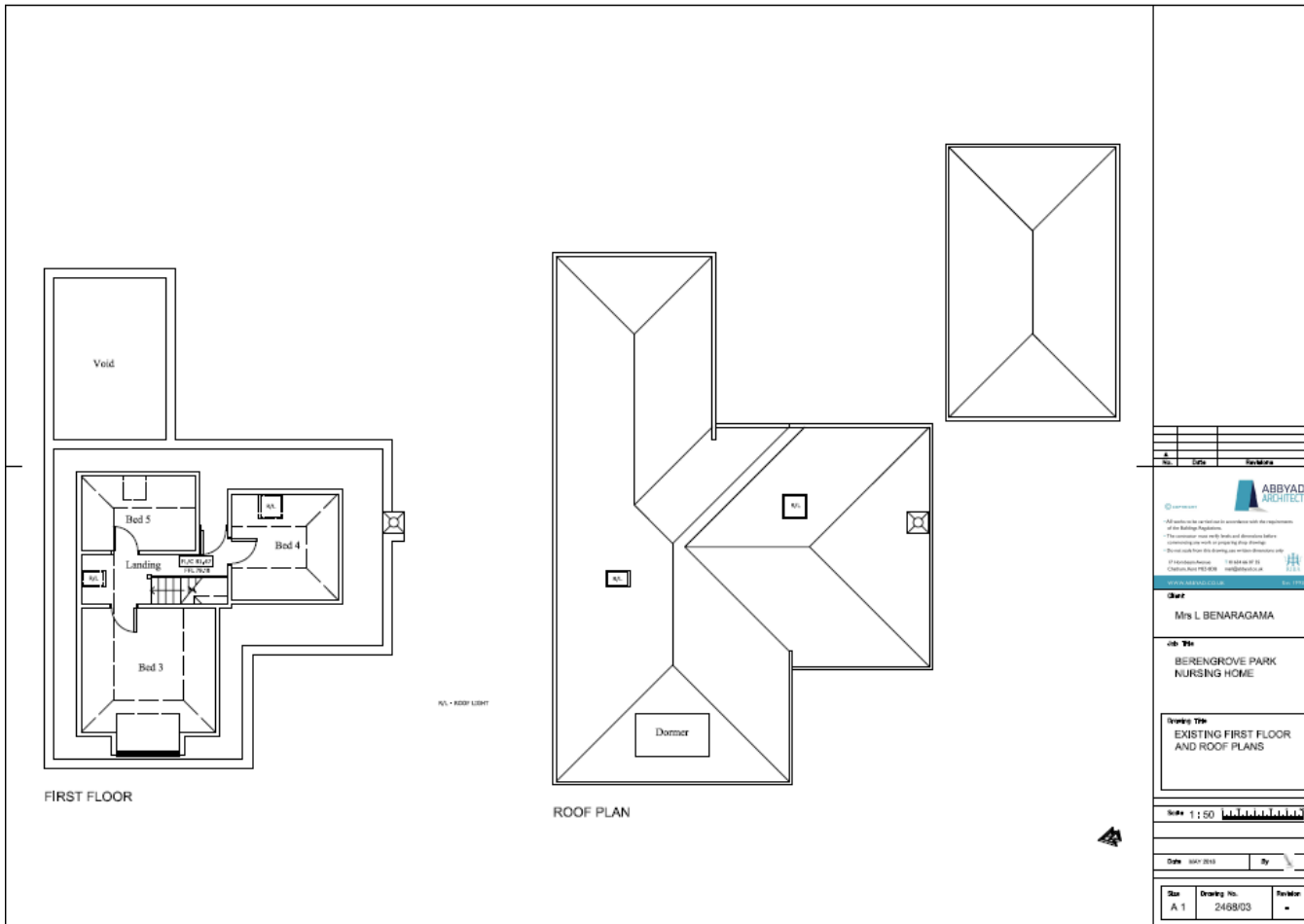




# Existing Ground Floor Plan



# Existing First Floor Plan of 45B Park Avenue





# Proposed Elevations

WEST

SOUTH

SOUTH

EAST

NORTH

PROPOSED  
ALL NEW MATERIALS TO MATCH WITH EXISTING

No.	Date	Revisions



Abbeyad Architect  
100 South Main Street, Suite 100  
Chattanooga, TN 37402  
Tel: 423.249.1111  
www.abbeyad.com

**Client**  
Mrs L. BENARAGAMA

**Job No.**  
BERENGROVE PARK  
NURSING HOME

**Drawing Title**  
PROPOSED ELEVATIONS

**Scale** 1:100

**Date** 10/11/2018 **By** [Signature]

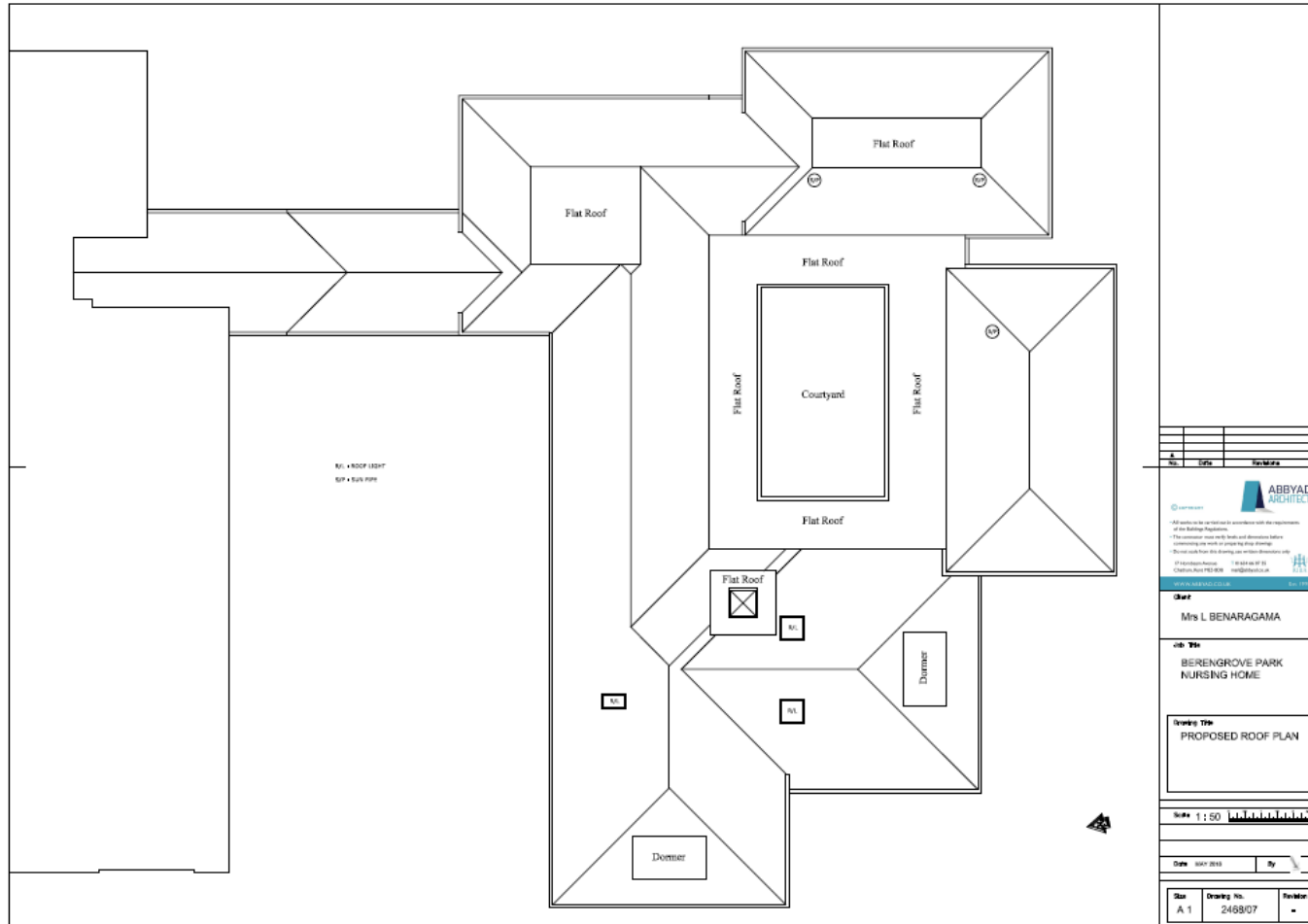
<b>Sheet</b> A.1	<b>Drawing No.</b> 2468/08	<b>Revision</b> 1
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# Proposed Roof Plans



No.	Date	Revisions


  
 Abbeyad Architect
   
 All works on the site shall be executed with the responsibility of the Building Department.
   
 The customer must verify facts and dimensions before commencing any work to avoid any time change.
   
 Do not scale from this drawing for any other dimensions.
   
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 Contact: Abu Dhabi - 02 658 8888 | info@abbeyad.ae
   
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**Client**  
 Mrs L BENARAGAMA

**Job Title**  
 BERENGROVE PARK NURSING HOME

**Drawing Title**  
 PROPOSED ROOF PLAN

**Scale** 1:50

**Date** 04/07/2018

Size	Drawing No.	Revision
A 1	2468/07	-

**MC/18/2098**

Priestfields Recreational Ground,  
Priestfields,  
Rochester





### MC/18/2098 - Priestfields Recreation Ground, Priestfields, Rochester

10 0 10 20 30 40 50 60 70 80 90 100

Metres

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# View of Completed Clubhouse



# Approved Floor Plan of the Extended Clubhouse from MC/17/4187

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