

Planning Committee – Supplementary agenda

A meeting of the Planning Committee will be held on:

Date: 22 November 2017

Time: 6.30pm

Venue: Meeting Room 9 - Level 3, Gun Wharf, Dock Road, Chatham ME4 4TR

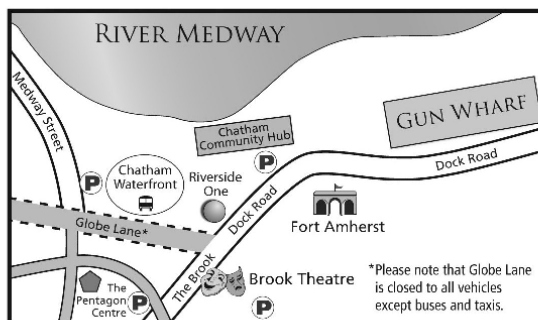
Items

15 Additional Information - Presentation

**(Pages
3 - 50)**

For further information please contact **Ellen Wright, Democratic Services Officer** on Telephone: 01634 332012 or Email: democratic.services@medway.gov.uk

Date: 22 November 2017



This agenda and reports are
available on our website
www.medway.gov.uk

A summary of this information can be made available in other formats from **01634 333333**

If you have any questions about this meeting and you want to speak to someone in your own language please ring **01634 335577**

বাংলা 331780
中文 331781

ગુજરાતી 331782
हिंदी 331783

ਪੰਜਾਬੀ 331784
Polski 332373

کوردی 331841
এহেৎশফব 331786

اروو 331785
فارسی 331840

Русский 332374
Lietuviškai 332372

Planning Committee

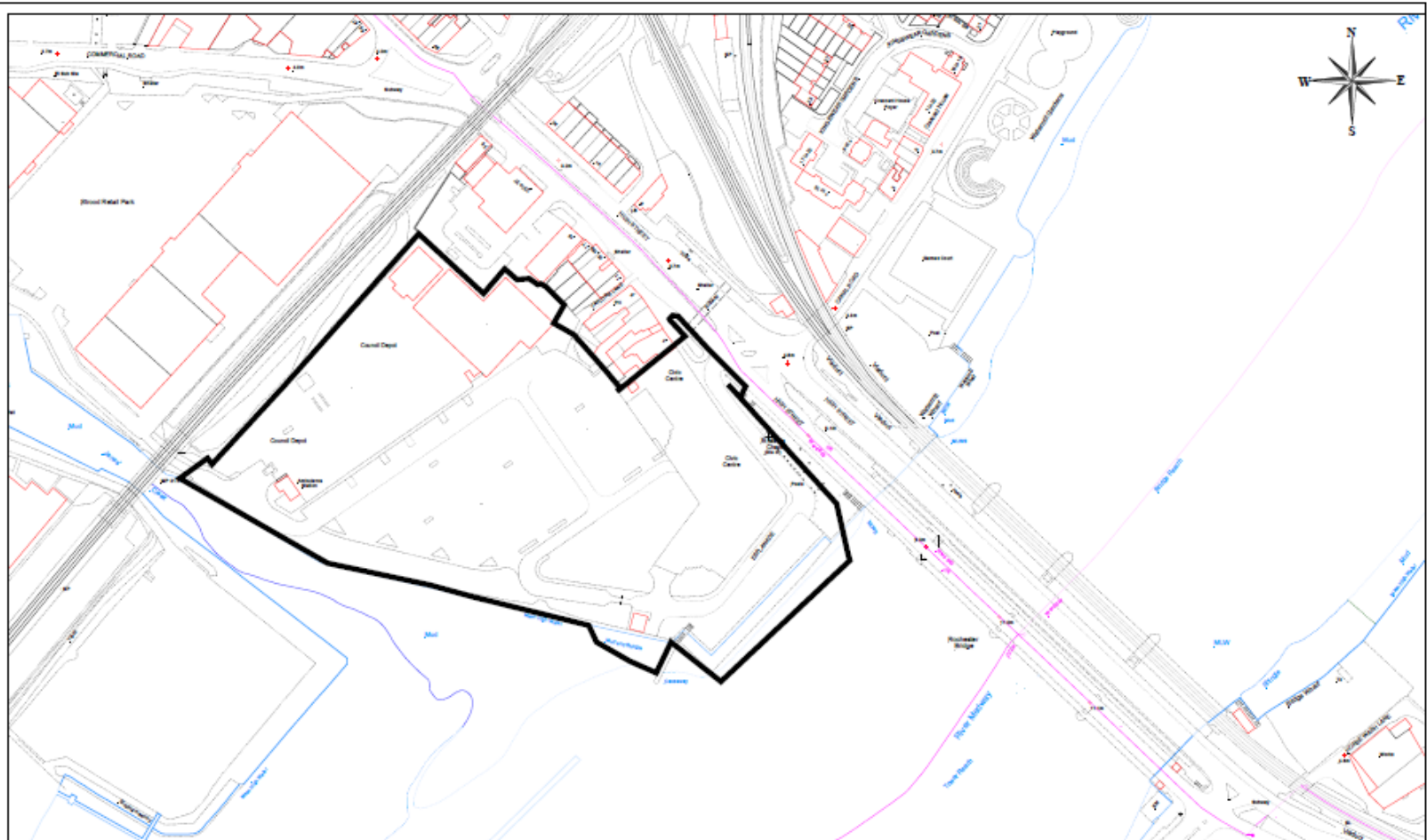
22 November 2017

STROOD RIVERSIDE

Phases 1 and 2

MC/17/1172

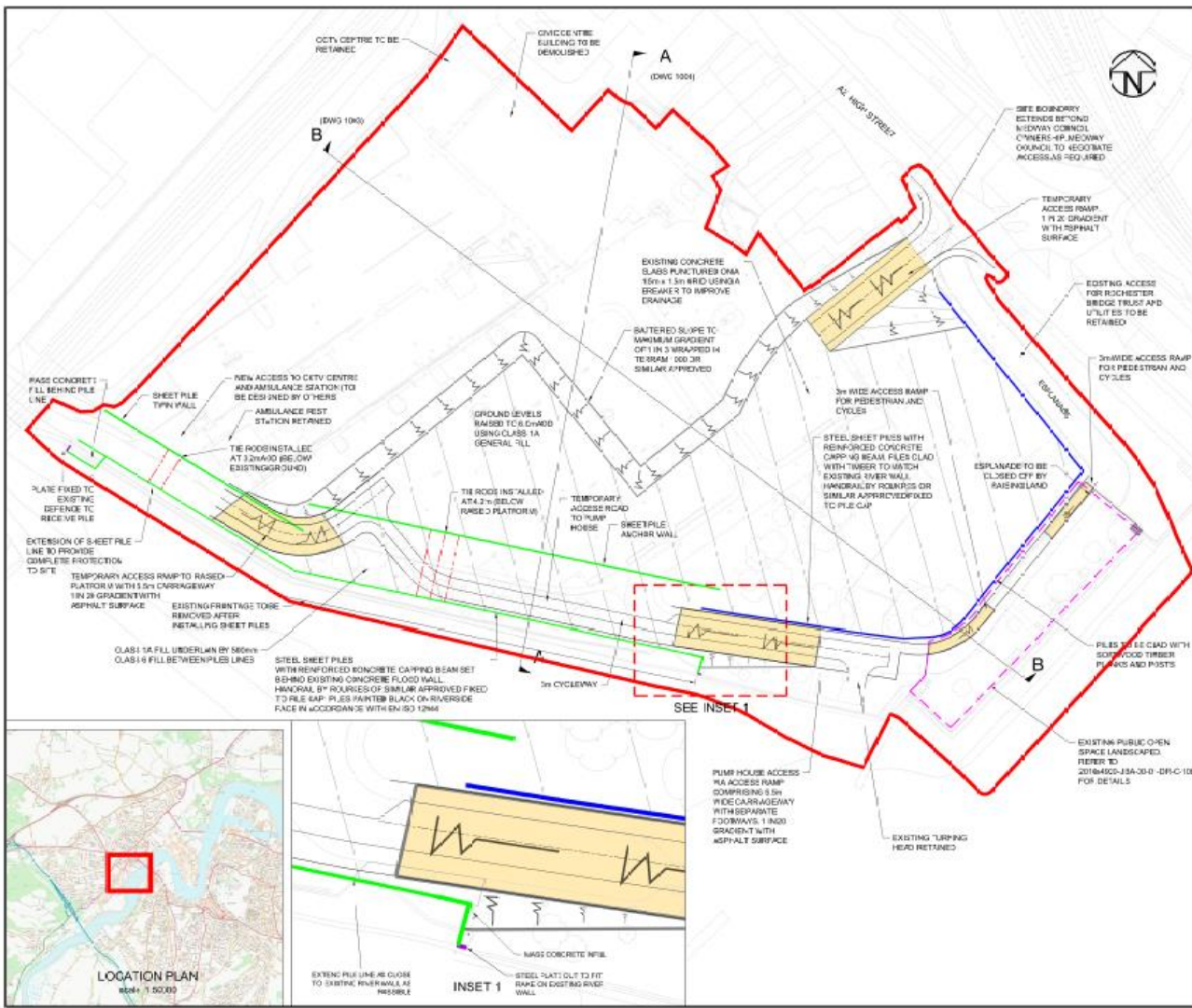
Former Medway Council Civic Centre Site
Bounded By The A2 (High Street) The
Esplanade The River Medway, Jane's Creek
And The Medway Valley Rail Line Strood



MC/17/1172 - Former Medway Council Civic Centre Site Bounded By The A2 (High Street) The Esplanade The River Medway, Jane's Creek And The Medway Valley Rail Line, Strood



Scale: 1:2500 09/11/17
© Medway Council, 2012



• Ensure adequate access to impacted road network
 • Working adjacent to road network
 • Management of traffic on existing highway during construction
 • Consideration of public realm
 • Noise, dust and vibration from construction activities
 • Public domain
 • Public space
 • Public amenity

• Construction Risk
 • Environmental Risk
 • Public Risk

In addition to the 'technical' risks associated with the types of work detailed in the drawing plan notes in this scheme.

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION BOX

Contract Notes

1. All excavations shall be shored, braced, underpinned and retained in accordance with the relevant Code of Practice.

2. All work shall be carried out in accordance with the relevant Code of Practice.

3. Any excavation shall be shored, braced, underpinned and retained in accordance with the relevant Code of Practice.

4. All work shall be carried out in accordance with the relevant Code of Practice.

5. The location of any excavations shall be shored, braced, underpinned and retained in accordance with the relevant Code of Practice.

6. The Contractor shall be responsible for the location of any services prior to the commencement of any work.

7. The site shall be cleared of all debris to be used for recycling.

Site

- Site boundary
- Street/Highway
- Retained ground
- Public open space
- Street piles / Tieback Girdling
- Access ramp

Comments

| Rev. | Date | Drawn | Checked | Approved |
|------|------------|-------|---------|----------|
| 1 | 04/11/2021 | DR | DR | DR |
| 2 | 04/11/2021 | DR | DR | DR |
| 3 | 04/11/2021 | DR | DR | DR |
| 4 | 04/11/2021 | DR | DR | DR |
| 5 | 04/11/2021 | DR | DR | DR |

Rev. 1: Approved with Retention
 Rev. 2: Design Update
 Rev. 3: Design Update
 Rev. 4: Design Update
 Rev. 5: Design Update

JBA Consulting
 1000 Marsh Road, London
 SE10 2HT
 Tel: 020 3319 2000
 Email: info@jba-consulting.co.uk

STROOD RIVERSIDE FLOOD DEFENCES

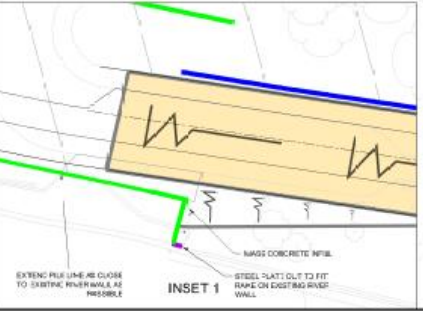
**PHASE 1
GENERAL ARRANGEMENT**

for

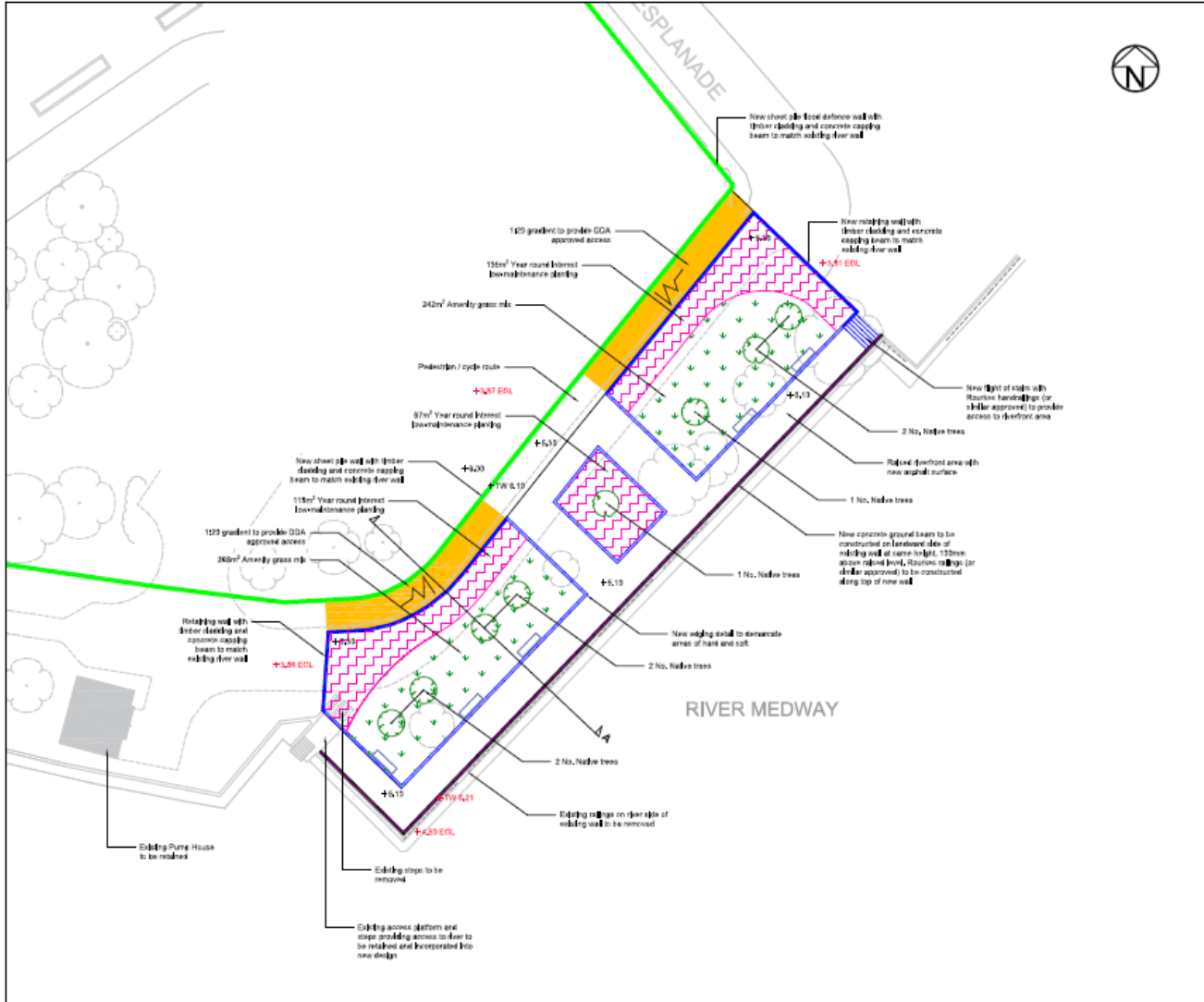
Balfour Beatty Medway
SOUTH EAST

Rev. 1: Approved with Retention
 Rev. 2: Design Update
 Rev. 3: Design Update
 Rev. 4: Design Update
 Rev. 5: Design Update

Drawing No: 20-5622C-JBA-00-0-DR-C-10C1
 Date: 20/11/2021
 Project: Phase 1



7



| | | |
|--|--|---|
| <ul style="list-style-type: none"> Green infrastructure spaces to project and maintain services Provide access to flood defences Management of work on existing highway during construction | <ul style="list-style-type: none"> Included within an active MFC Protected species site/structure Other constraints | <ul style="list-style-type: none"> Location of public realm work area Highways and drainage from construction activities Public comments |
| Construction Plan | Environmental Plan | Public Plan |

It is vital that the responsible bodies remain involved with the team of work undertaken in the following table over the course of the scheme.

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION BOX

- General Notes**
- All standards shown will be met unless otherwise stated and refer to the relevant BS.
 - Do not work from the drawing. All dimensions must be checked on site.
 - Do not specify materials that are not approved by the Engineer/contractor.
 - All works in construction shall be carried out with care to minimise the risk of pollution entering the River Medway. This includes the use of silt fences and other pollution control measures.
 - All works shall be carried out in accordance with the relevant standards and specifications.
 - The location of any new access points or drainage systems shall be for reference only. The Contractor shall be responsible for any work undertaken for the construction of any works.
 - The above notes shall be read in conjunction with the following notes.

Key

- New sheet pile wall with concrete capping beam
- Existing elements to be removed
- New concrete ground beam
- New retaining wall
- New walling to demarcate areas of hard and soft
- Year round Interest low maintenance planting
- Amenity grass m/c
- New 120 gradient access ramp
- New bench seating
- Existing trees to be removed
- Native tree planting
- +5.10 ERL Existing levels
- +5.13 Proposed levels

| Item | Rev | Date | Checked | Checked | Approved |
|----------|-----|------|---------|---------|----------|
| Comments | | | | | |
| Key | Rev | Date | Checked | Checked | Approved |

I Agree
 I Agree with the Notes
 Do Not Use

Prepared by: Phase 1
 For approval: C/Rev

JBG Consulting

10, The Quadrant, Bournemouth, Dorset, BH1 1AB

01202 505000
01202 505001
01202 505002

Office at: 100, The Quadrant, Bournemouth, Dorset, BH1 1AB
 Bournemouth, Dorset, BH1 1AB
 Bournemouth, Dorset, BH1 1AB

STROOD REVERSE FLOOD DEFENCES

PHASE 1 OPEN GREEN SPACE GENERAL ARRANGEMENT

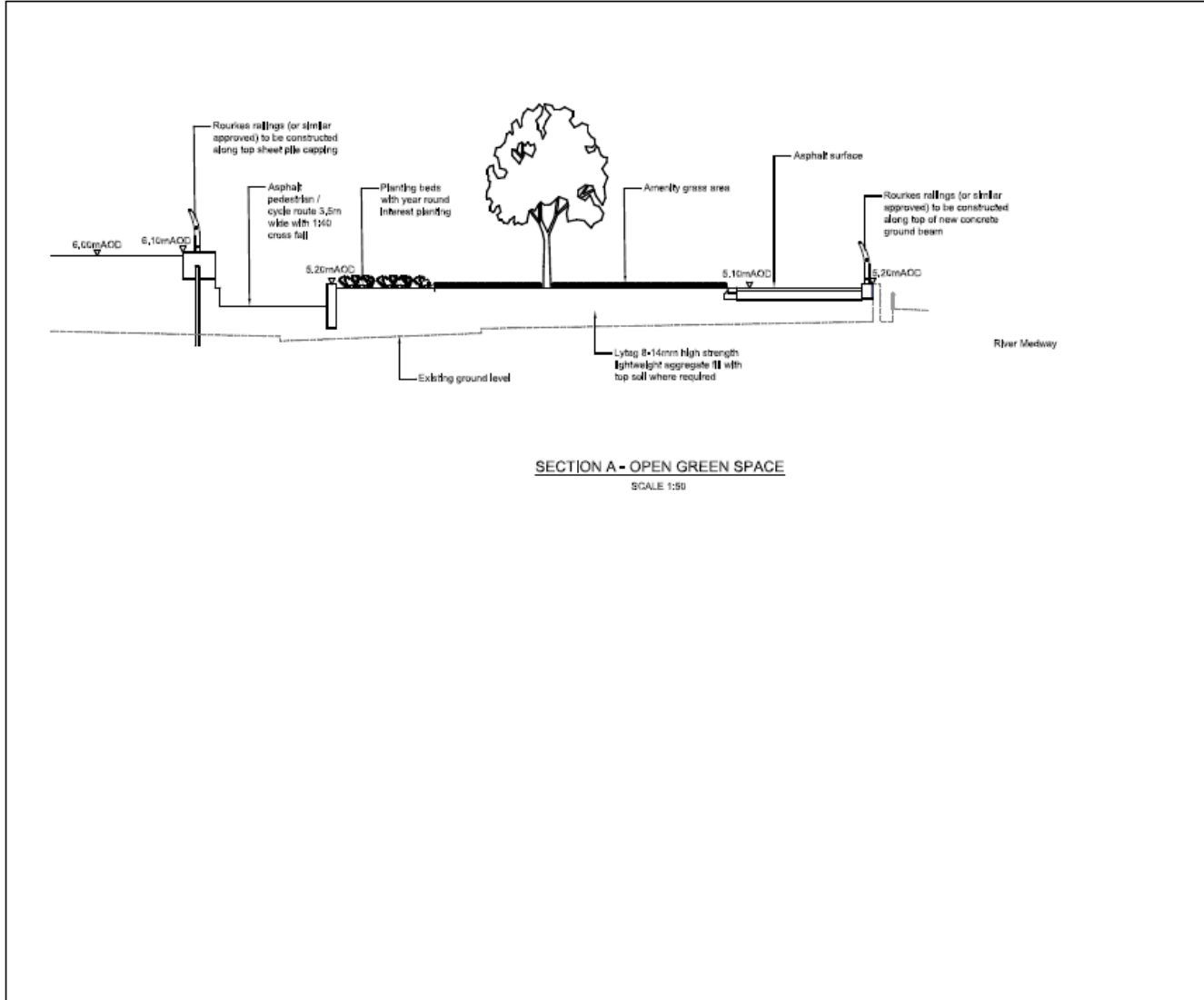
For

Balfour Beatty Medway

10, The Quadrant, Bournemouth, Dorset, BH1 1AB
 01202 505000
 01202 505001
 01202 505002

Date: 12/09/2017
 Checked: 12/09/2017
 Approved: 12/09/2017

101643324/JBA/0040142/Rev 1 0002 v 01
 Drawing Number: 201643324/JBA/0040142/Rev 1 0007



| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|--|---|----------|---------|----------|----------|--------|----------|----------|------|------|------|------|------|-------|------|-------|---------|--------|----------|--|--|--|--|--|--|------------------|--|--|--|--|-------|--------------|--|--|--|--|-------|
| <ul style="list-style-type: none"> - Green space access to project and mid-river activities - Working adjacent to land reclamation - Management of traffic including highway during construction | <ul style="list-style-type: none"> - Flooded areas with 100m AOD - Protective aspects of the structure | <ul style="list-style-type: none"> - Collision of public from work area - Public use and access from construction work area - Visual impacts | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Consideration of the responsibilities normally associated with the type of work detailed on this drawing take note of the notes. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION BOX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| General Notes | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1. All dimensions shown are in metres unless otherwise stated and include in excess to clearance heights. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 2. Do not scale from this drawing. All dimensions must be checked on the site. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 3. Any discrepancies noted on the site are to be reported to the Engineer immediately. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4. All works to be undertaken shall be carried out with care to maintain the flow of public safety to the highest practicable standard. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 5. All works affecting the environment shall be undertaken in accordance with the provisions of the Environment Protection Act 1986. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 6. The location of any support structures shown on drawings are approximate and for reference only. The Contractor shall verify the location of any structures and for the construction of the works. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 7. The electrical and/or telephoning is not to be used for setting out. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Final</td> <td>Rev</td> <td>Drawn</td> <td>Checked</td> <td>Issued</td> <td>Approved</td> </tr> <tr> <td colspan="6">Comments</td> </tr> <tr> <td>Final</td> <td>Rev</td> <td>Drawn</td> <td>Checked</td> <td>Issued</td> <td>Approved</td> </tr> <tr> <td colspan="6"> <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved with Reservations <input type="checkbox"/> Do Not Use </td> </tr> <tr> <td colspan="5">Purpose of issue</td> <td>Issue</td> </tr> <tr> <td colspan="5">For approval</td> <td>Issue</td> </tr> </table> | | | Final | Rev | Drawn | Checked | Issued | Approved | Comments | | | | | | Final | Rev | Drawn | Checked | Issued | Approved | <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved with Reservations <input type="checkbox"/> Do Not Use | | | | | | Purpose of issue | | | | | Issue | For approval | | | | | Issue |
| Final | Rev | Drawn | Checked | Issued | Approved | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Comments | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Final | Rev | Drawn | Checked | Issued | Approved | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Approved with Reservations <input type="checkbox"/> Do Not Use | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Purpose of issue | | | | | Issue | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| For approval | | | | | Issue | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| STROOD RIVERSIDE FLOOD DEFENCES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| PHASE 1 OPEN GREEN SPACE CROSS SECTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| for | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Drawn</td> <td>Checked</td> <td>Issued</td> <td>Approved</td> </tr> <tr> <td>1500</td> <td>1500</td> <td>1500</td> <td>1500</td> </tr> <tr> <td>1500</td> <td>1500</td> <td>1500</td> <td>1500</td> </tr> <tr> <td>1500</td> <td>1500</td> <td>1500</td> <td>1500</td> </tr> </table> | | | Drawn | Checked | Issued | Approved | 1500 | 1500 | 1500 | 1500 | 1500 | 1500 | 1500 | 1500 | 1500 | 1500 | 1500 | 1500 | | | | | | | | | | | | | | | | | | | | |
| Drawn | Checked | Issued | Approved | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1500 | 1500 | 1500 | 1500 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1500 | 1500 | 1500 | 1500 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1500 | 1500 | 1500 | 1500 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Drawing Number: 20164920-BA004-01-001-1000 + Cross Section | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 20164920-BA004-01-001-1000 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



Images for landscape assessment

The images contained on this page are not representations of scale and distance from the aerial photograph and show the proposed development in its wider landscape context only for landscape assessment.



Images for landscape assessment

The images contained on this page are not representations of scale and distance from the aerial photograph and show the proposed development in its wider landscape context only for landscape assessment.

Image not at a corridor 100m away's length

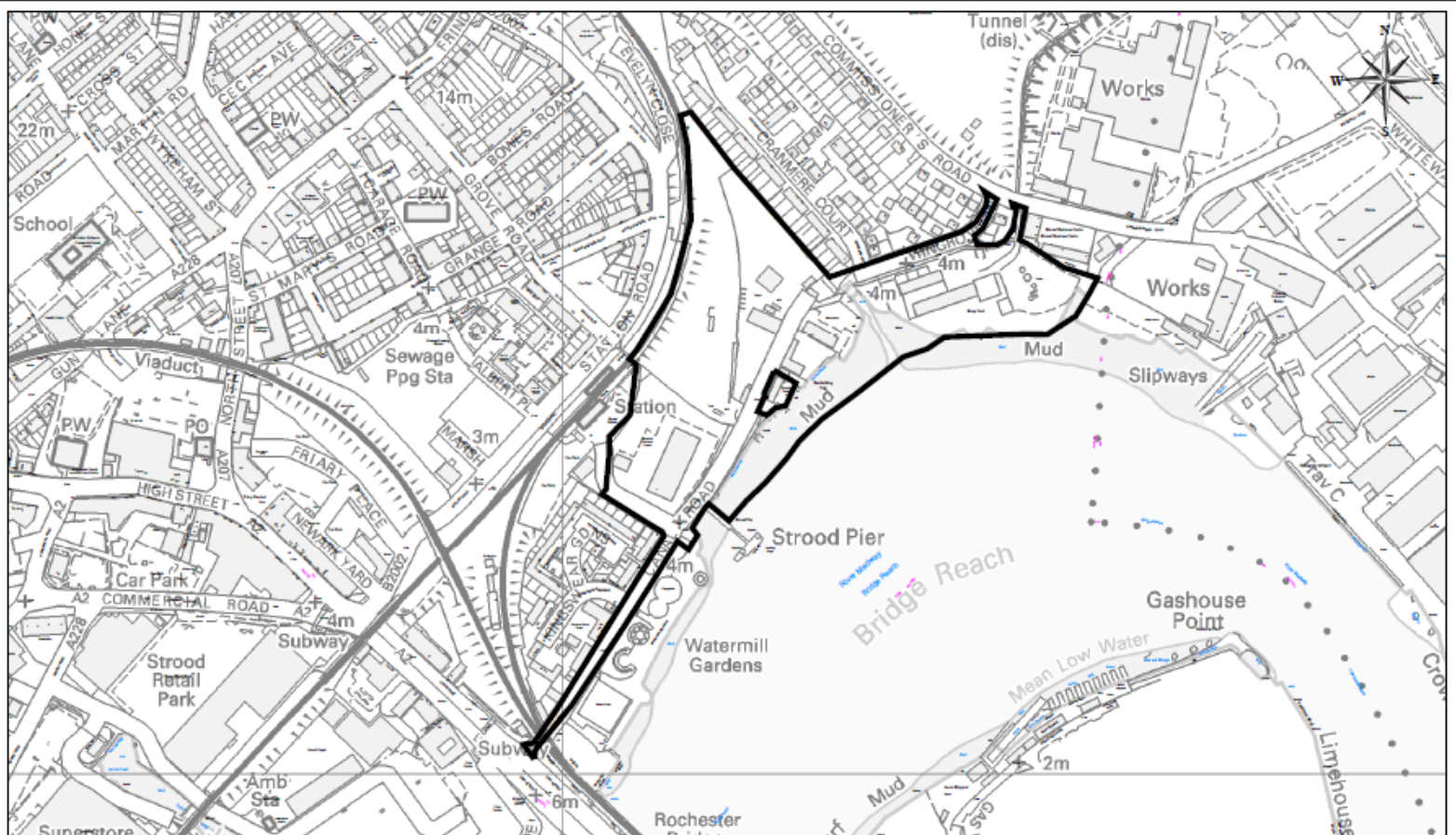




View flat at a comfortable arm's length

MC/17/1173

Phase 2 Strood Riverside, Site Situated Approximately
250m North Of Rochester Bridge, Bordered By
Kingswear Gardens To The South, River Medway To
The East, The North Kent Line Railway To West And
Houses Along Cranmere Court To The North, Strood,
Kent



MC/17/1173 Phase 2 Strood Riverside, Site Situated Approximately 250m North Of Rochester Bridge, Bordered By Kingswear Gardens To The South, River Medway To The East The North Kent Line Railway To West And Houses Along Cranmere Court To The North Strood



| | | |
|---|--|---|
| <ul style="list-style-type: none"> • Ensure adequate access to existing and new services • Working adjacent to built structures • Management of traffic on active highway during construction • Construction Risk | <ul style="list-style-type: none"> • Identify methods to reduce MCF • Protected existing historic assets • Environmental/Risk | <ul style="list-style-type: none"> • Existence of public from road side • Noise, dust and vibration from construction activities • Variable movements • Public Risk |
|---|--|---|

In addition to the hazards/risks/impacts associated with the types of work detailed on the following table, note all of the following:

- General Notes**
1. All dimensions shown are in metres, unless otherwise stated and levels in metres to Ordnance Datum.
 2. Do not scale from this drawing. All dimensions shall be checked/verified on site.
 3. Any discrepancies related to site plan to be reported to the Engineer immediately.
 4. All works in watercourses will be carried out with care to minimise the risk of pollution entering to Pollution Prevention Guidelines.
 5. All works affecting flood defences, main watercourses and/or ordinary watercourses will be subject to Consented Operations and Temporary Works under the Land Drainage Act 1989.
 6. The location of any new services shown on drawing are approximate and for guidance only. The Contractor will confirm the location of any services prior to the commencement of any works.
 7. The electronic master of this drawing is not to be used for setting out.

Site

Planning Application Boundary

| | | | | | | |
|---|-----|-----|-----|-----|-----|-----|
| Comments | | | | | | |
| Rev: | 001 | 002 | 003 | 004 | 005 | 006 |
| Drawn: | | | | | | |
| Checked: | | | | | | |
| Rev: | 001 | 002 | 003 | 004 | 005 | 006 |
| Drawn: | | | | | | |
| Checked: | | | | | | |
| B Boundary change | | | | | | |
| Rev: | 001 | 002 | 003 | 004 | 005 | 006 |
| Drawn: | | | | | | |
| Checked: | | | | | | |
| A Plot repositioned to include bus stop marks | | | | | | |
| Rev: | 001 | 002 | 003 | 004 | 005 | 006 |
| Drawn: | | | | | | |
| Checked: | | | | | | |
| <input type="checkbox"/> A - Approved <input type="checkbox"/> B - Approved with Reservations <input type="checkbox"/> C - Do Not Use | | | | | | |
| Prepared by: | RJB | | | | | WJG |
| For approval: | RJB | | | | | WJG |

BTBA Consulting

25 Moorfields Road
 Haverhill, Cambs
 CB9 7JH
 United Kingdom

Tel: +44 (0)1431 67600
 Fax: +44 (0)1431 67601
 Email: info@btbaconsulting.com

STROOD RIVERSIDE FLOOD DEFENCES

PHASE 2

PLANNING APPLICATION

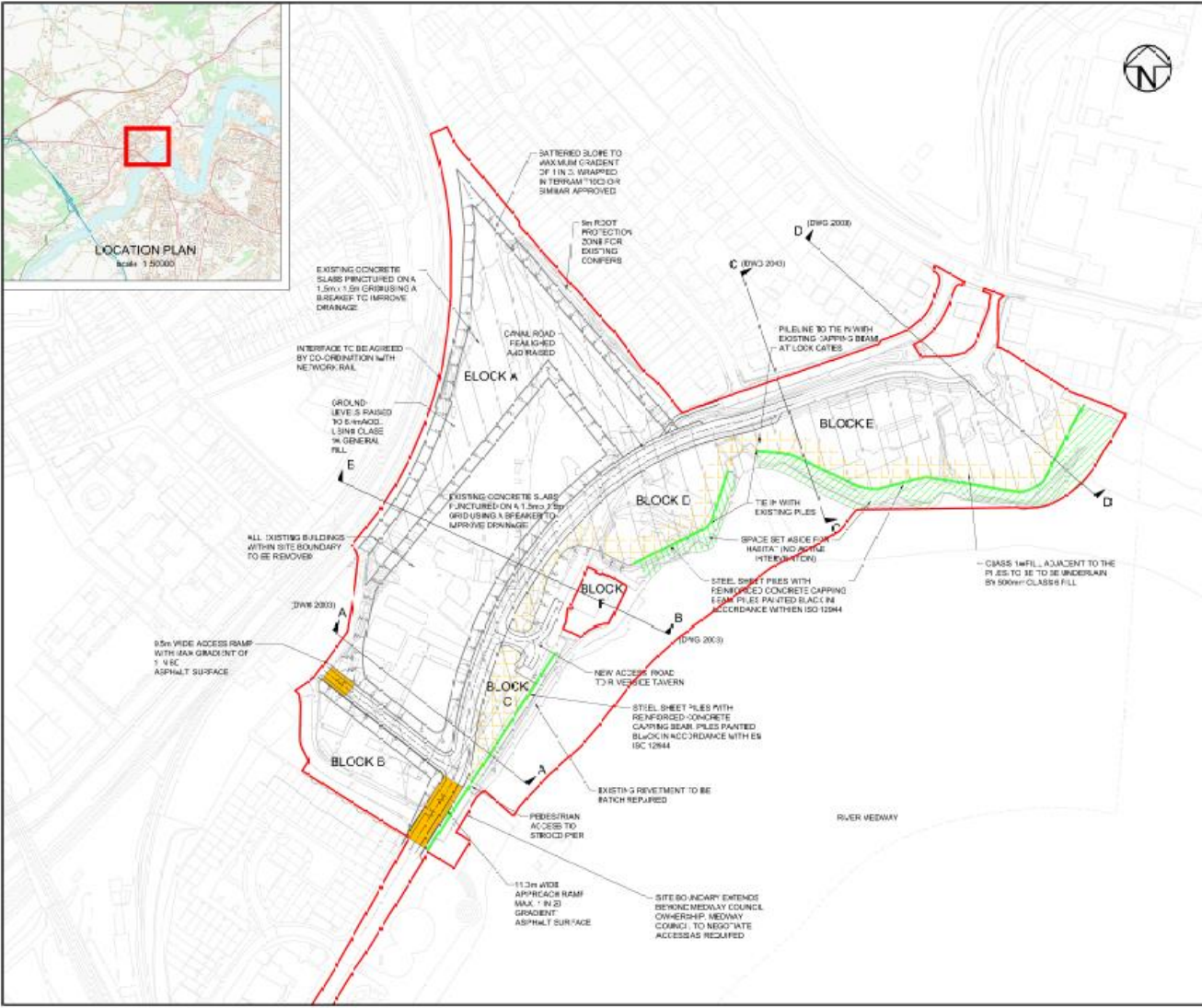
For

Balfour Beatty Medway

The associated pages of this document are to be read in conjunction with the main planning application. If you are unable to access the pages, please contact the Planning Department.

| | | |
|-----------|----------|----------|
| Drawn: | R. Orms | 13/01/17 |
| Designed: | G. Smith | 13/01/17 |
| Checked: | G. Smith | 13/01/17 |
| Approved: | G. Smith | 13/01/17 |

Digital File Name: 20164920-IBA-00-12-DR-2-2004
 Drawing Number: 20164920-IBA-00-12-DR-2-2004
 Revision: B



- Ensure adequate access to report and maintain services
- Working adjacent to railway
- Working adjacent to canal
- Management of traffic on existing Railway A, any construction

- Method of traffic on within MCT
- Protected works within tunnels

- Extension of public hire lock area
- Noise, dust and vibration from construction activities
- Vehicle movements

Construction Risk **Environmental Risk** **Public Risk**

In addition to the hazards which are normally associated with the types of work described in the drawing the risks in the above:

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION BOX

GENERAL

- All dimensions shown are in metres unless otherwise stated and levels in metres to Ordnance Datum.
- Do not include items in drawing. All dimensions must be checked/verified on site.
- Any discrepancies noted on site must be reported to the Engineer immediately.
- All vehicles and plant must be capable of safe use to minimise the risk of collapse, falling or falling from height.
- All vehicles and plant must be capable of safe use to minimise the risk of collapse, falling or falling from height.
- All vehicles and plant must be capable of safe use to minimise the risk of collapse, falling or falling from height.
- The location of any known services shown on drawing are approximate and for guidance only. The contractor shall confirm the location of all services prior to the commencement of any works.
- The contractor must ensure that the drawing is not used for anything but the intended purpose.

KEY

- Site boundary
- Street plan
- Road centre line
- Access ramps
- Raised ground
- Health boundary

| Comments | Rev | Iss | Drawn | Designed | Checked | Approved |
|------------------------|--------|----------|-----------|--------------|-------------|--------------|
| 1. Construction | | | | | | |
| 2. Minor amendments | | | | | | |
| 3. Construction | Rev: 1 | 01/01/17 | Drawn: RQ | Designed: AJ | Checked: GP | Approved: WF |
| 4. Drawing amendments | | | | | | |
| 5. Construction | Rev: 1 | 11/01/17 | Drawn: RQ | Designed: AJ | Checked: GP | Approved: WF |
| 6. Drawing amendments | | | | | | |
| 7. Construction | Rev: 1 | 20/01/17 | Drawn: RQ | Designed: GP | Checked: GP | Approved: WF |
| 8. Drawing amendments | | | | | | |
| 9. Construction | Rev: 1 | 20/01/17 | Drawn: RQ | Designed: GP | Checked: GP | Approved: WF |
| 10. Drawing amendments | | | | | | |
| 11. Construction | Rev: 1 | 20/01/17 | Drawn: RQ | Designed: GP | Checked: GP | Approved: WF |
| 12. Drawing amendments | | | | | | |

Client Approval:

1 - Approval with Reservations
2 - No Reservations

Prepared by: JBA
No approval Status: Outflow

JBA Consulting
25 Riverside Road
Riverside
Strood
Kent
DA11 7JG
Tel: 01474 471400
Email: info@jbaconsulting.co.uk

STROOD RIVERSIDE FLOOD DEFENCES - PHASE 2 GENERAL ARRANGEMENT

for **Balfour Beatty Medway**

With Additional Responsibility to: James Bond Associates Ltd. (Approved International) & others in favour of: Balfour Beatty Medway (Approved International) (Approved International)

Scale: 1:1000 @ A1
Drawing No: 2016a0192C-JBA-00-02-DR-C-20C1
Drawing Number: 2016a0192C-JBA-00-02-DR-C-20C1

Rev: 1
Drawn: 10/01/17
Designed: 13/01/17
Checked: 13/01/17
Approved: 16/01/17

Rev: 1
Drawn: 10/01/17
Designed: 13/01/17
Checked: 13/01/17
Approved: 16/01/17



Images for landscape assessment

The images contained on this page are not representative of scale and distance from the actual development and show the proposed development in its wider landscape context only for landscape assessment.



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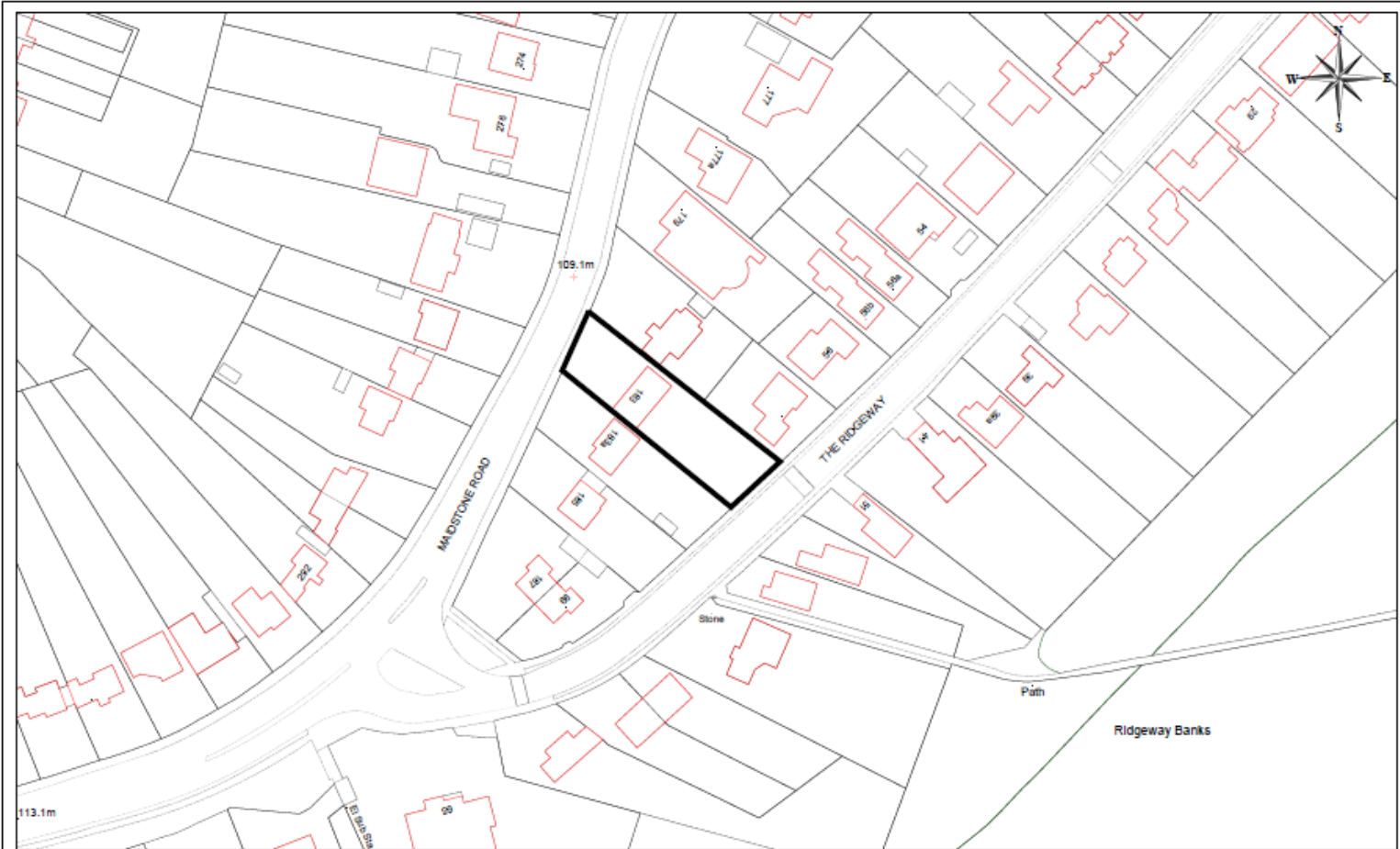


View flat at a comfortable arm's length

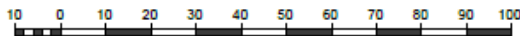


MC/17/2695

183 Maidstone Road Chatham



MC/17/2695 183 Maidstone Road, Chatham



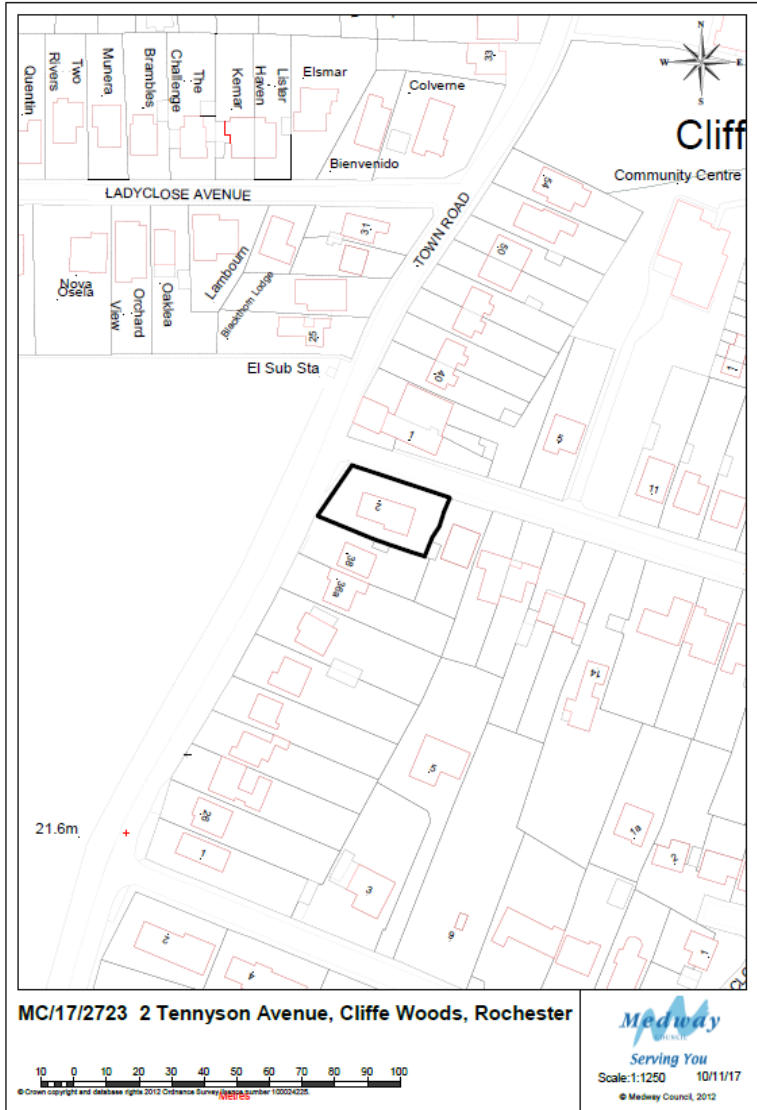
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Scale: 1:1250 09/11/17
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MC/17/2723

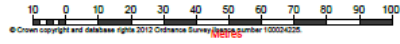
2 Tennyson Avenue Cliffe Woods



MC/17/2723 2 Tennyson Avenue, Cliffe Woods, Rochester



Serving You
Scale:1:1250 10/11/17
© Medway Council, 2012



Street Scene (Town Road frontage)



View from Tennyson Avenue



Retrospective garage
conversion



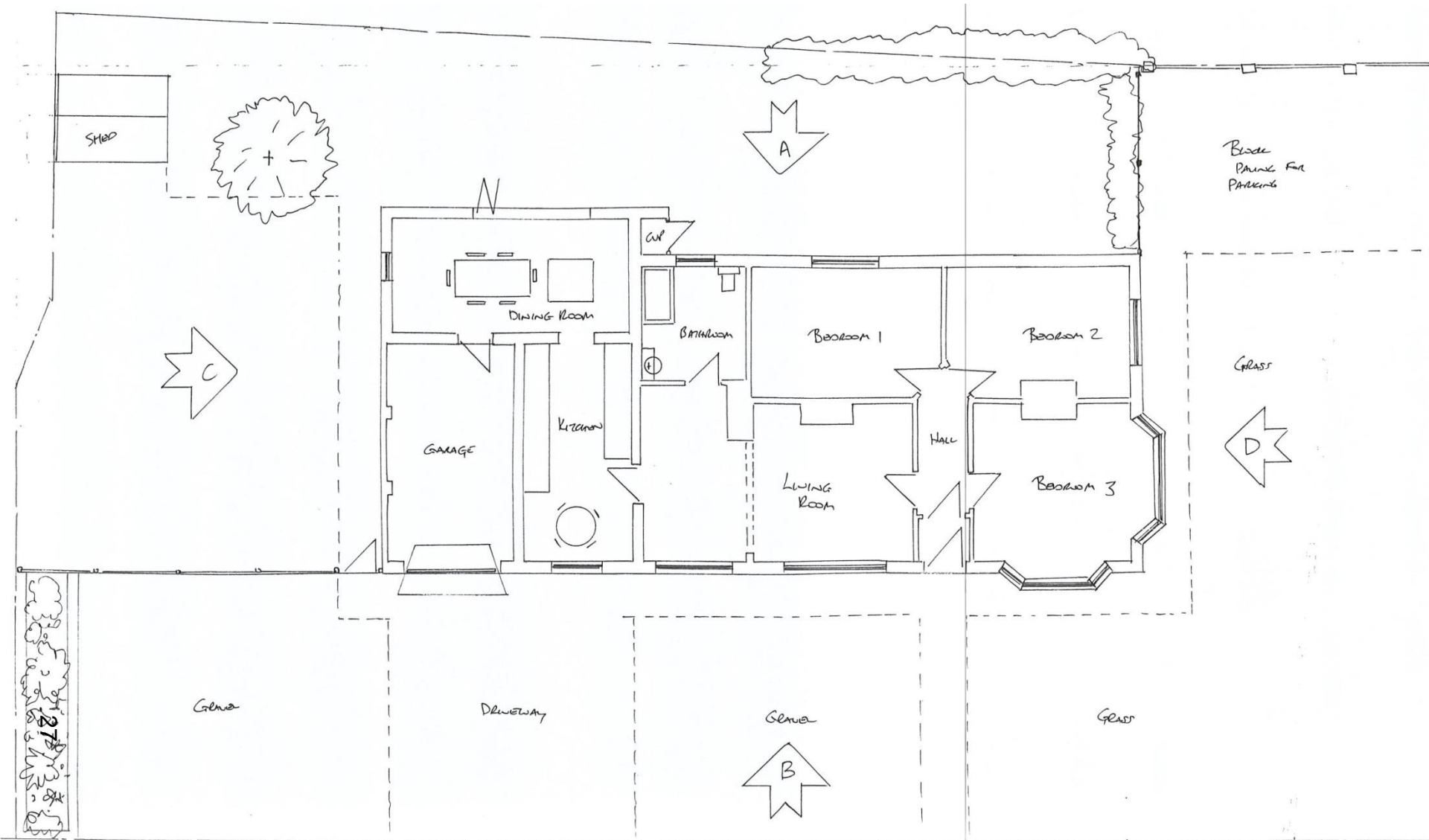
View of the garden,
looking south



View looking east towards
the side elevation of No.4
Tennyson Avenue (standing
within proposed footprint of
rear extension)

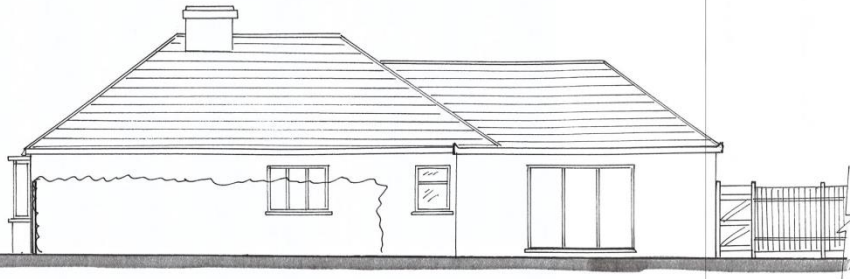


Existing Floor Layout

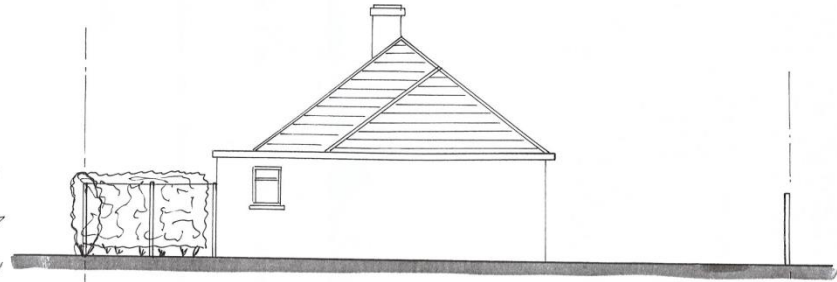


Existing Elevations/Roof Plan

28



EXISTING REAR/SIDE ELEVATION (A)



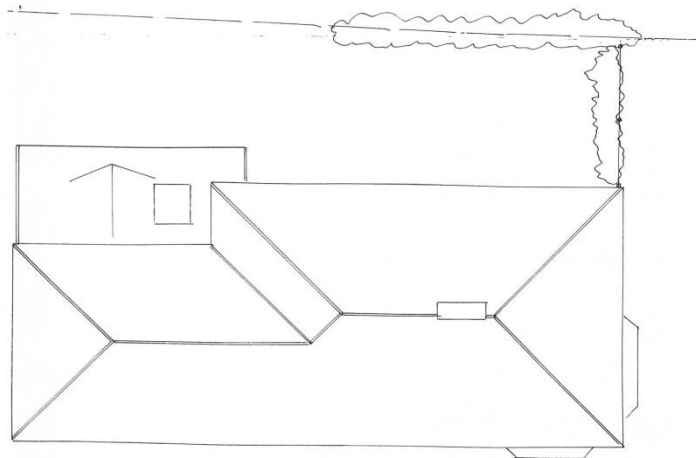
EXISTING SIDE/REAR ELEVATION (C)



EXISTING FRONT ELEVATION (B)

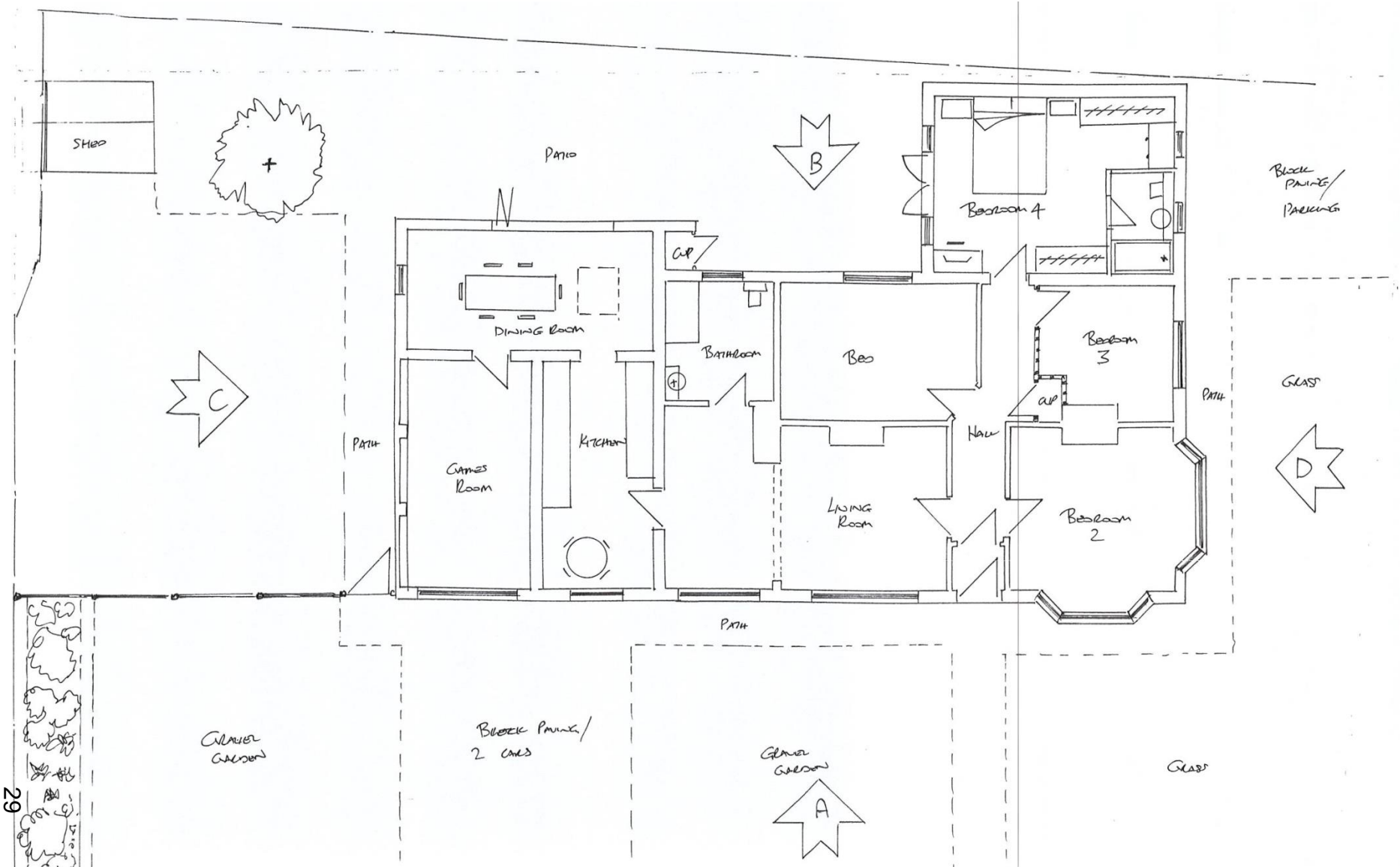


EXISTING SIDE/FRONT ELEVATION (D)



EXISTING ROOF PLAN GA

Proposed Floor Layout

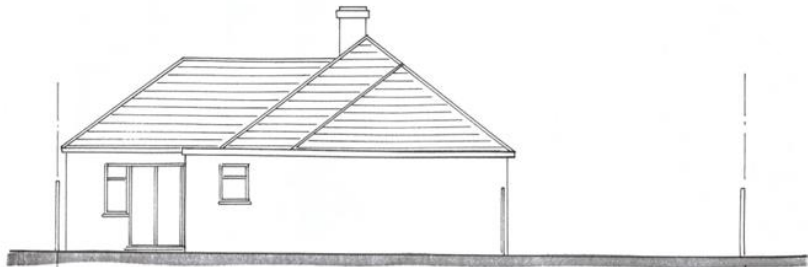


Proposed Elevations/Roof Plan

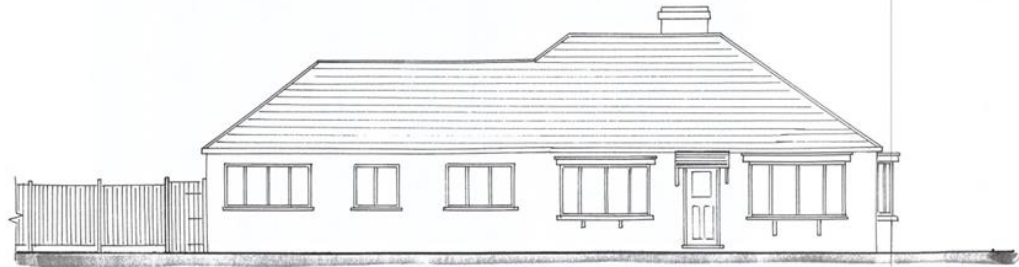
30



Proposed Side Elevation (B)



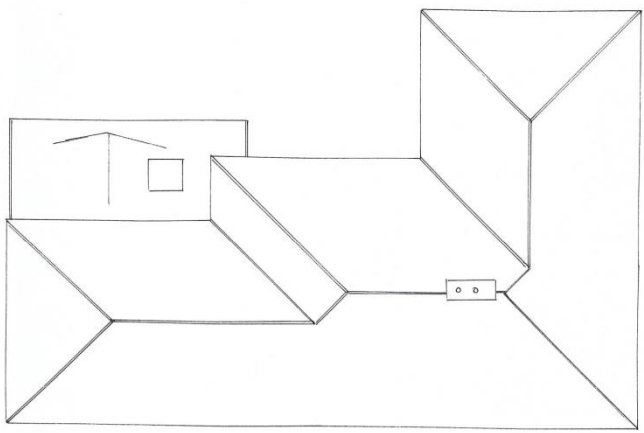
Proposed Rear/Side (C)



Proposed Front Elevation (A)

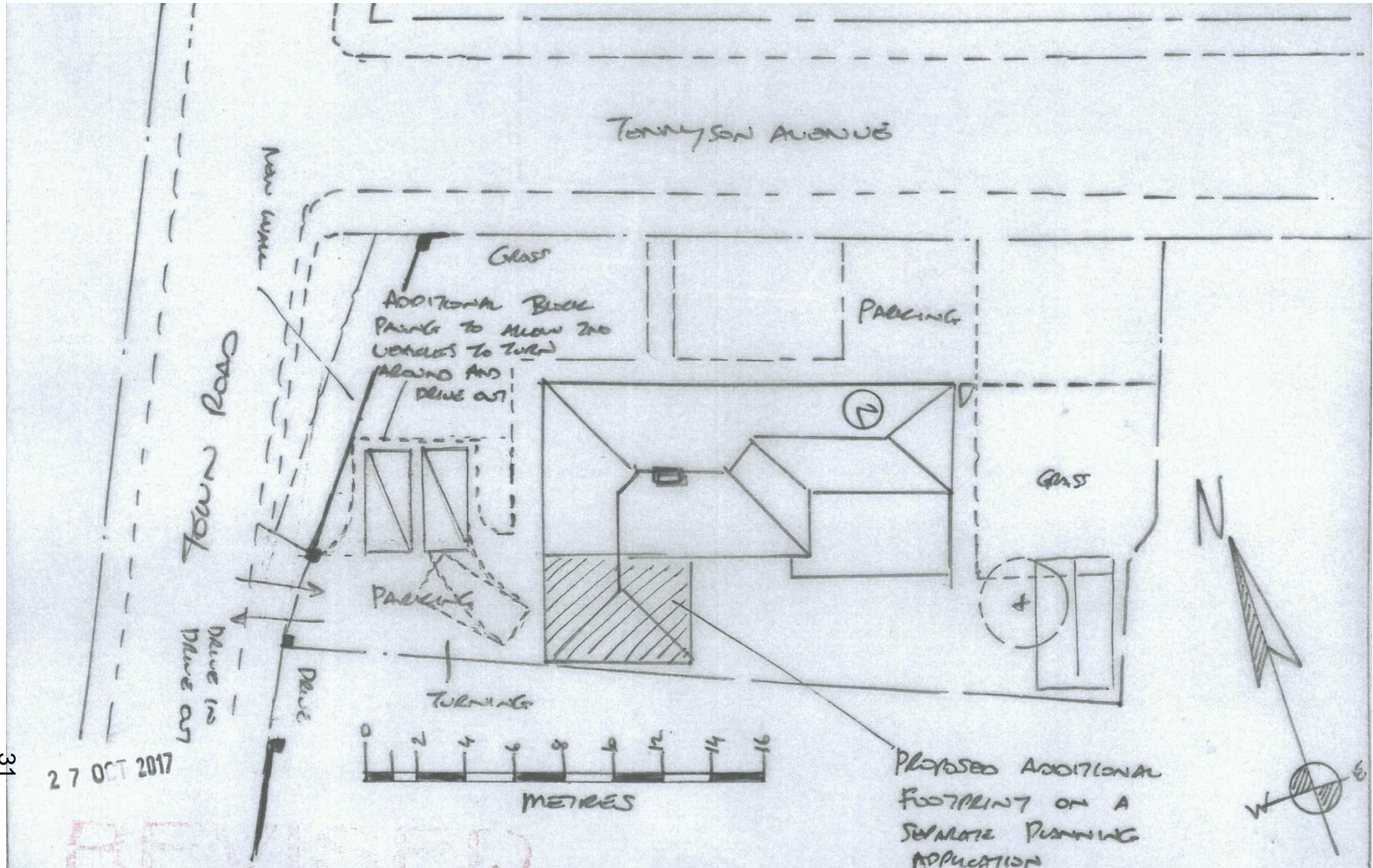


Proposed Side/Front Elevation (D)



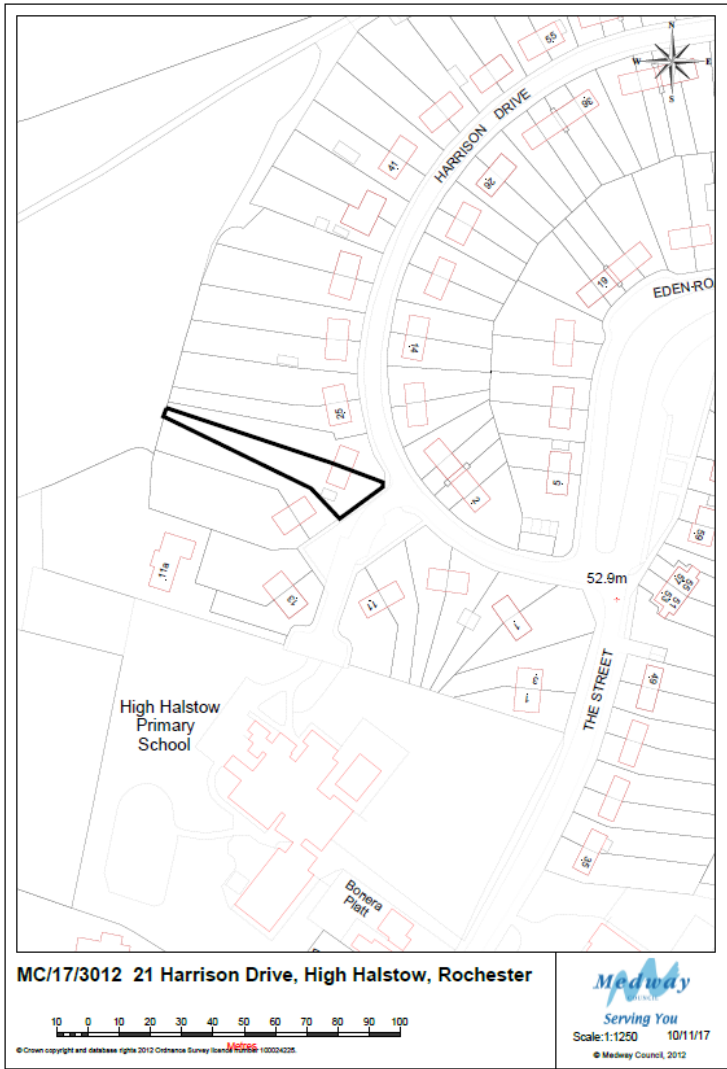
Proposed Roof Plan

Turning Area (Proposed)



MC/17/3012

21 Harrison Drive High Halstow
Rochester



Application Site

34



View from the garden





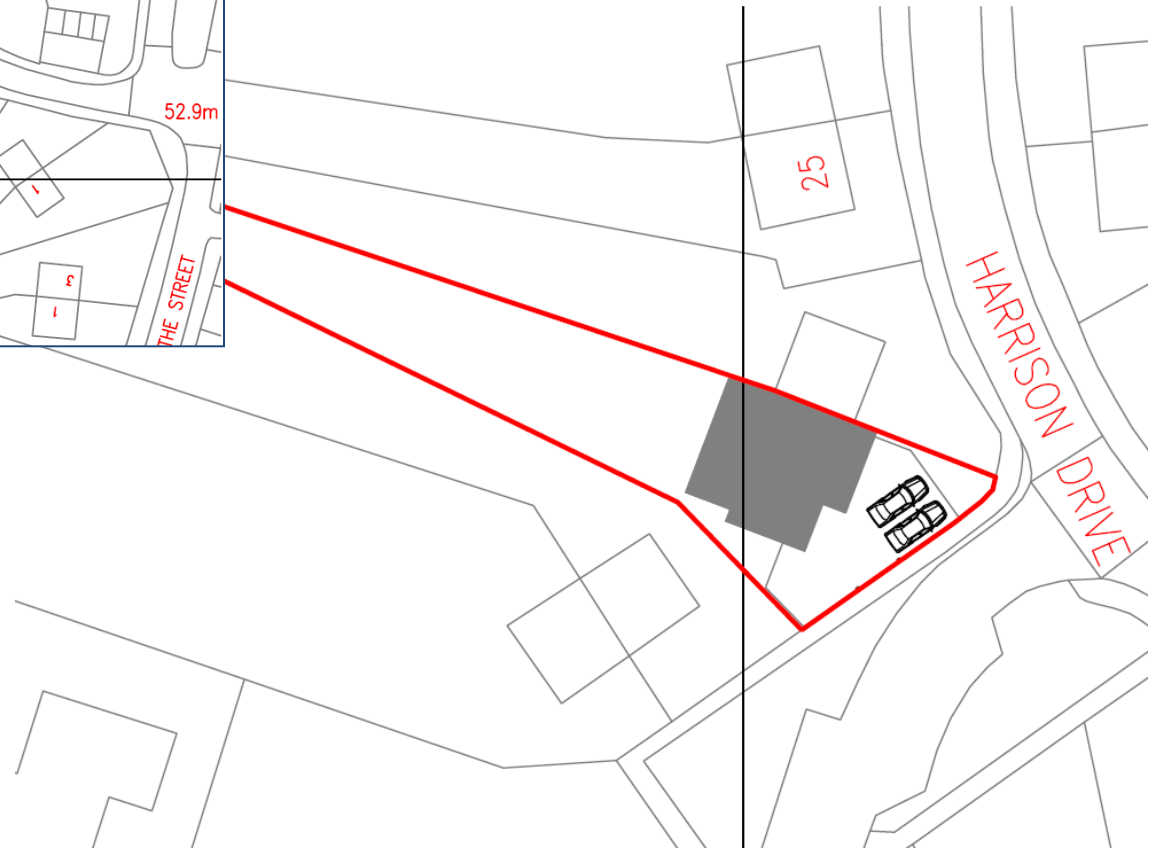
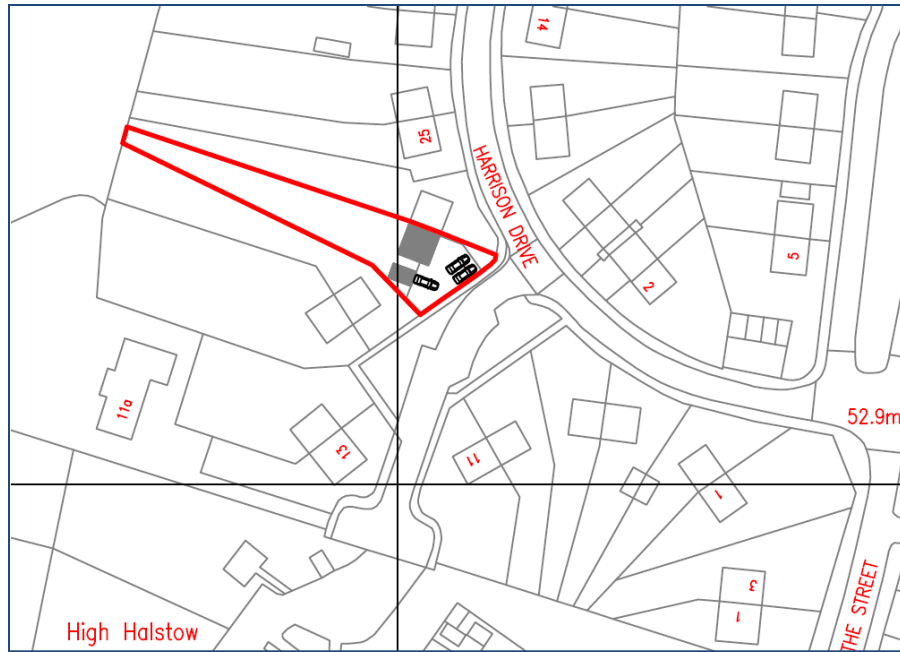
View looking towards
No. 23 Harrison Drive



View looking towards
No. 19 Harrison Drive

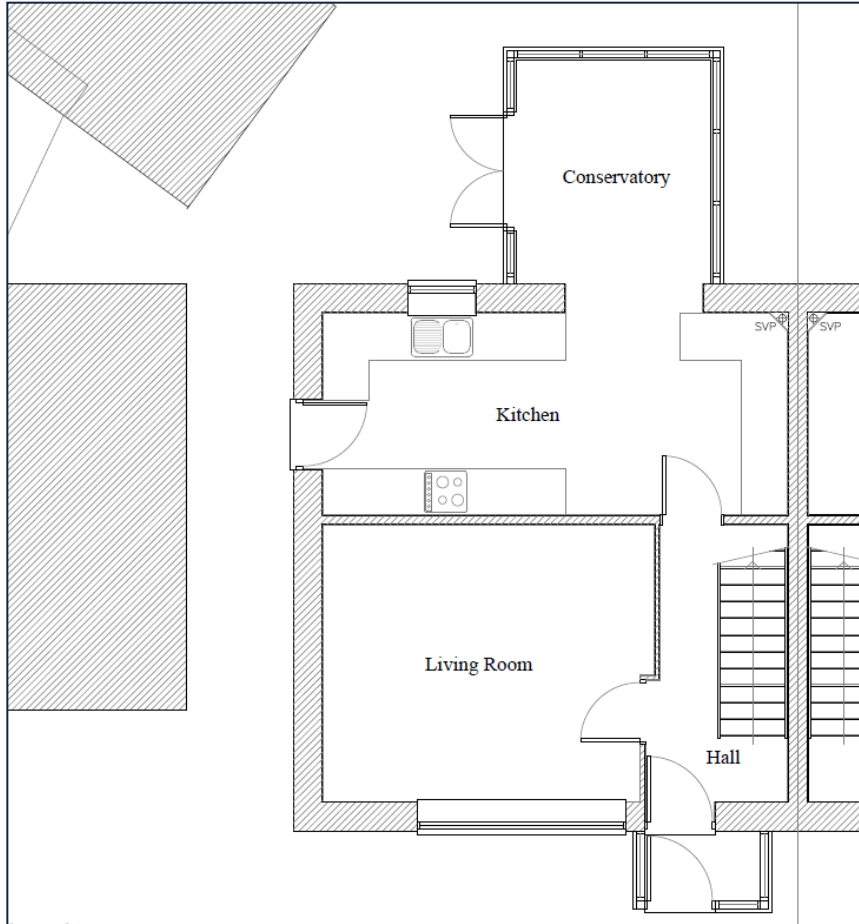


Existing and proposed Block Plan

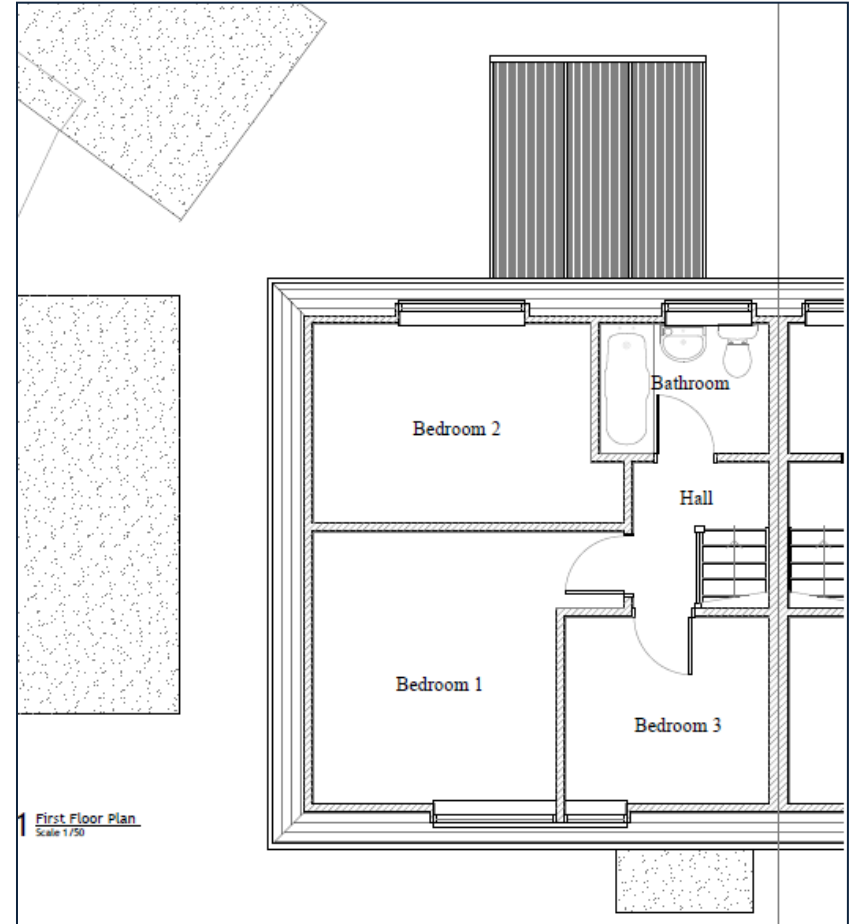


Existing Floor Layout

38



Ground Floor Layout



1 First Floor Plan
Scale 1/50

First Floor Layout

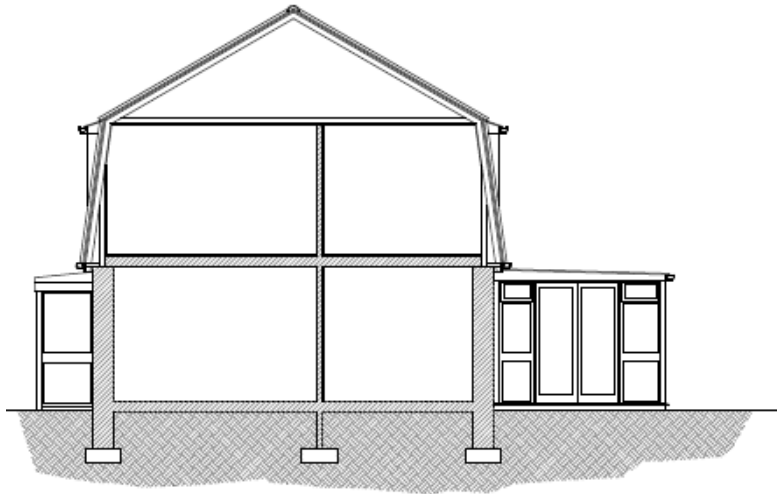
Existing Elevations



1 Side Elevation
Scale 1/100



2 Front Elevation
Scale 1/100



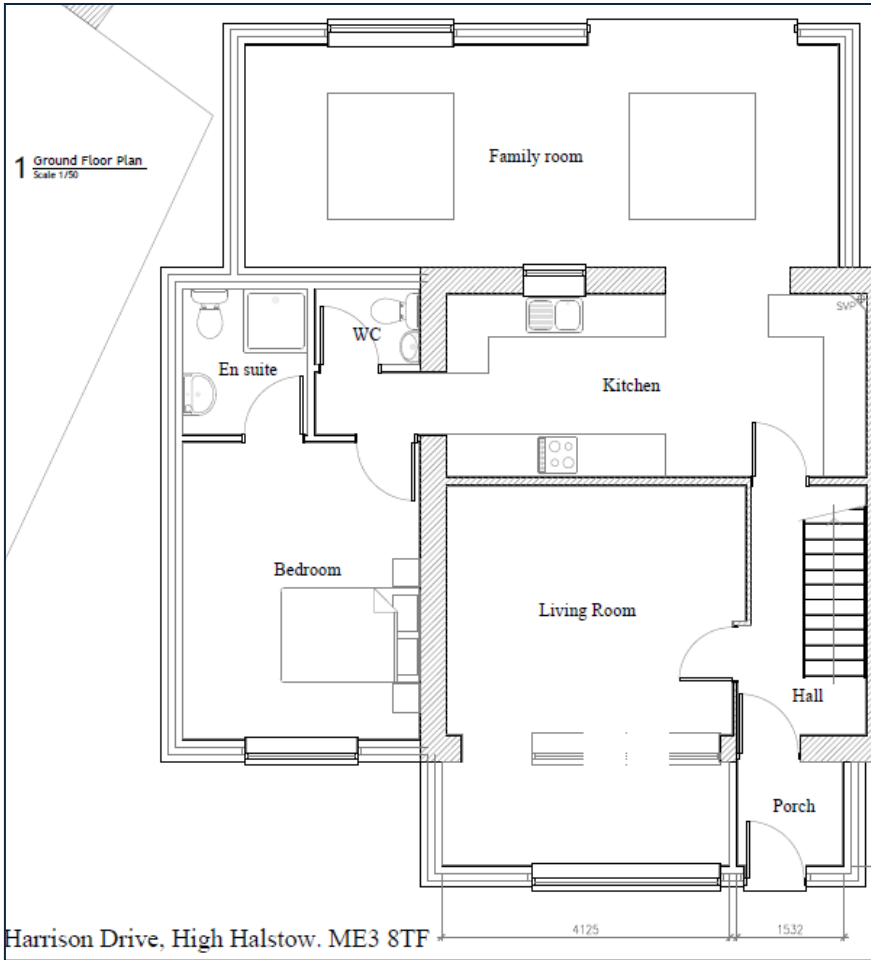
3 Sectional Elevation
Scale 1/100



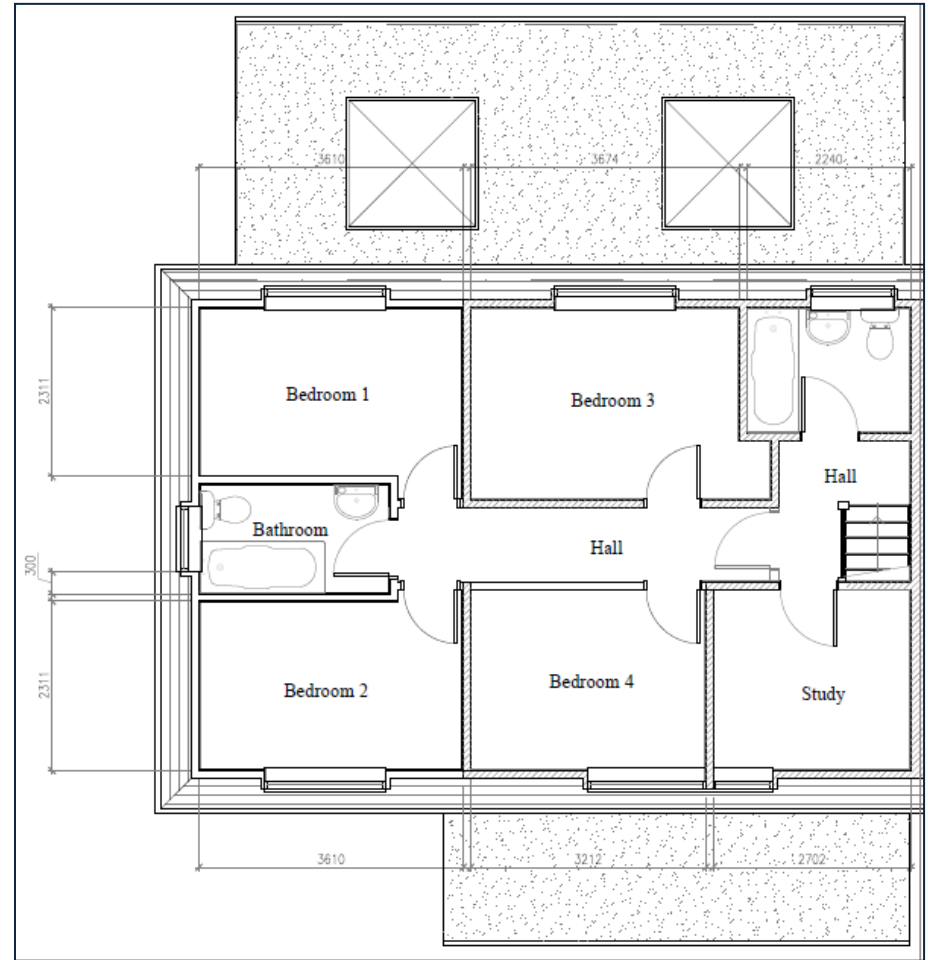
4 Rear Elevation
Scale 1/100

Proposed Floor Layout

40

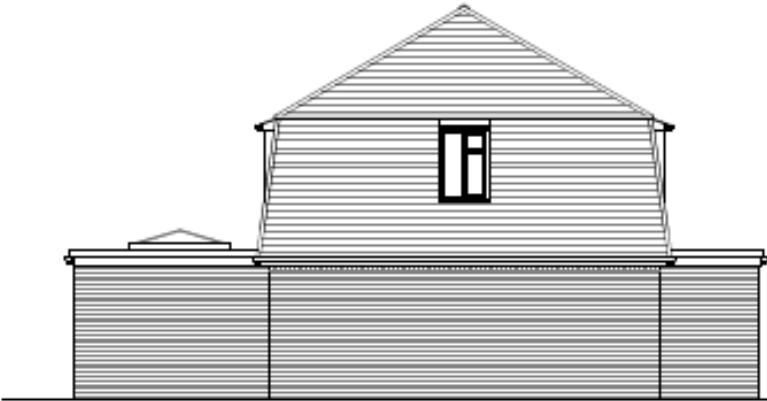


Ground Floor Layout



First Floor Layout

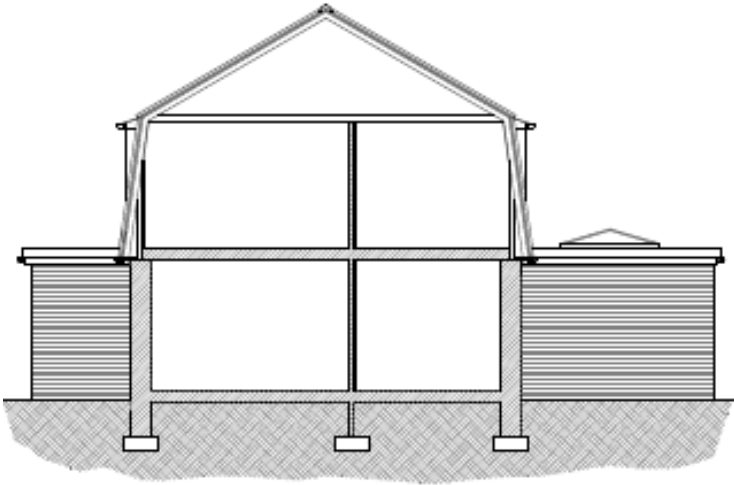
Proposed Elevations



1 Side Elevation
Scale 1/100



2 Front Elevation
Scale 1/100



3 Sectional Elevation
Scale 1/100



4 Rear Elevation
Scale 1/100

Other Examples

No.1 Harrison Drive



View from
the "The
Street"
(looking
south west)



View from
the "The
Street"
(looking
west)



No.22 Harrison Drive



View from the Harrison Drive (looking north east)

MC/17/3103

Land Adjacent To 1 Rowland Avenue
Gillingham



Front/street view of site



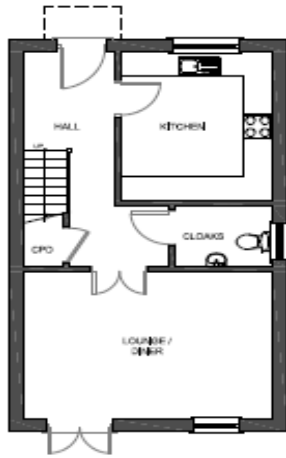
View looking east towards site

46

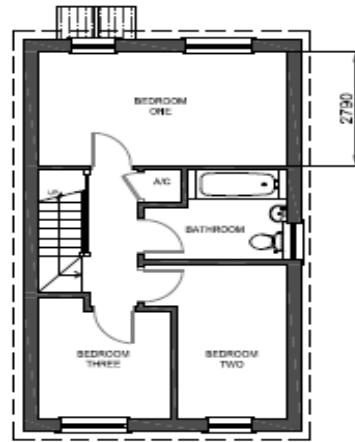


View looking west towards the site

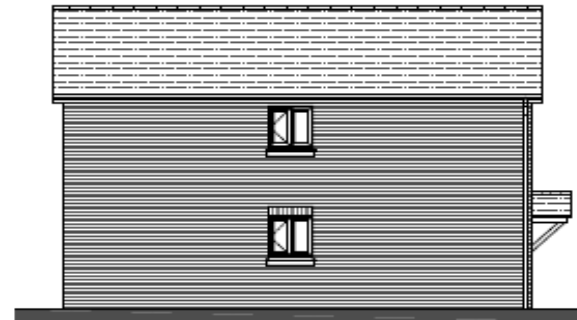




GROUND FLOOR PLAN



FIRST FLOOR PLAN



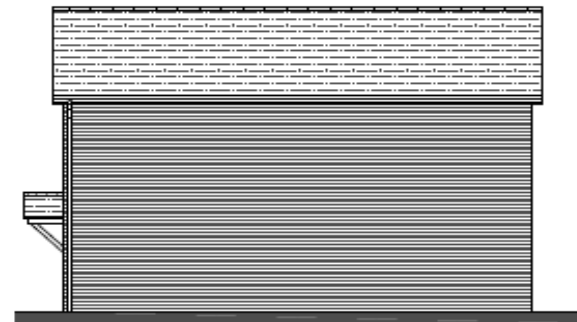
EAST ELEVATION



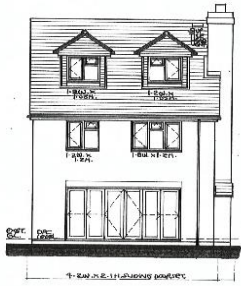
NORTH ELEVATION



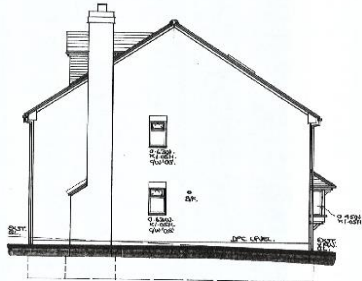
SOUTH ELEVATION



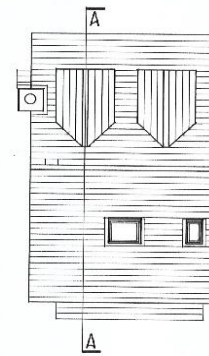
WEST ELEVATION



SOUTH (rear)



EAST

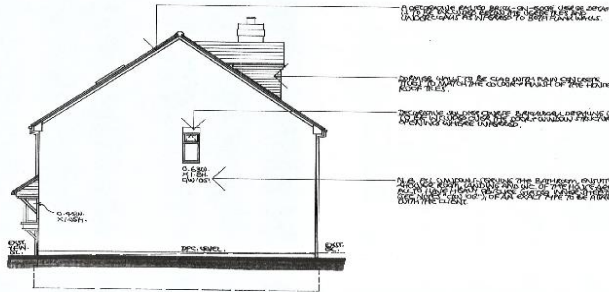


PROPOSED ROOF PLAN

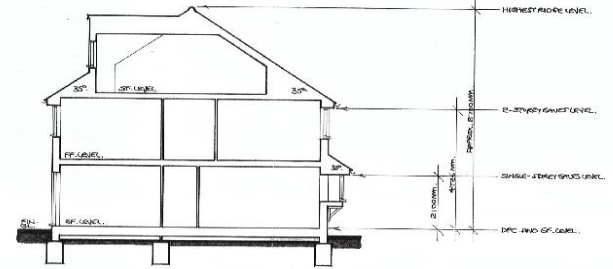


NORTH (front)

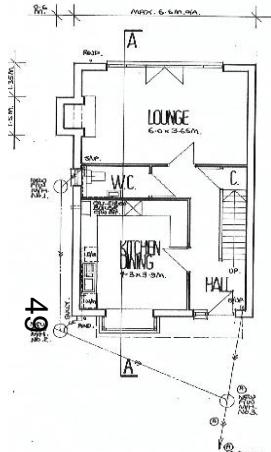
PROPOSED ELEVATIONS



WEST

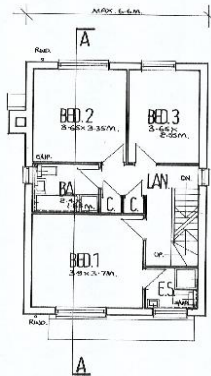


SECTION AA

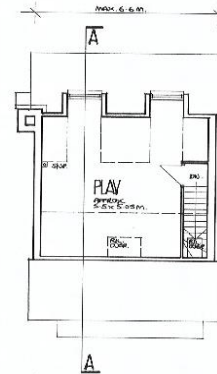


GROUND FLOOR

PROPOSED FLOOR PLANS



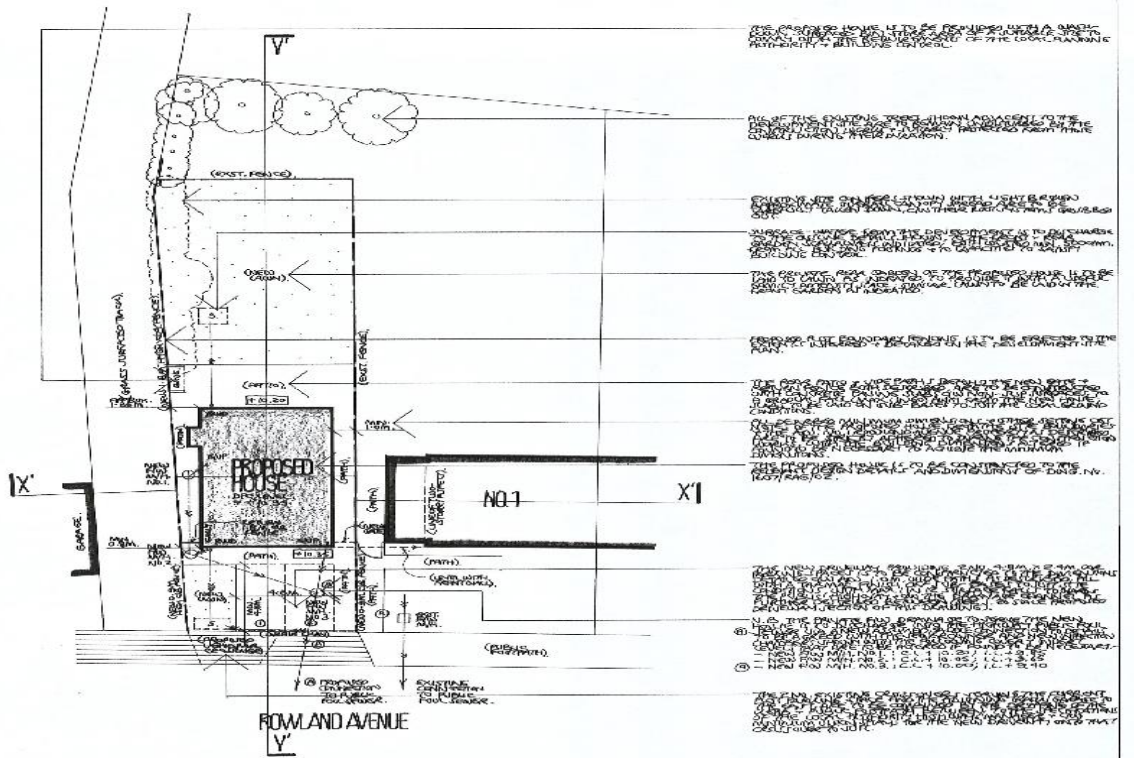
FIRST FLOOR



SECOND FLOOR



PROPOSED STREET SCENE



PROPOSED SITE PLAN

THE PROPOSED HOUSE IS TO BE PROVIDED WITH A BASIC ELECTRICAL AND MECHANICAL SYSTEM IN ACCORDANCE WITH THE CITY OF TAMPA ELECTRICAL AND MECHANICAL CODES.

THE PROPOSED HOUSE SHALL BE PROVIDED WITH A BASIC ELECTRICAL AND MECHANICAL SYSTEM IN ACCORDANCE WITH THE CITY OF TAMPA ELECTRICAL AND MECHANICAL CODES.

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T-10 (a)
City of Tampa

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City of Tampa