

Planning Committee – Supplementary agenda

A meeting of the Planning Committee will be held on:

Date: 14 December 2016

Time: 6.30pm

Venue: Meeting Room 2 - Level 3, Gun Wharf, Dock Road, Chatham ME4 4TR

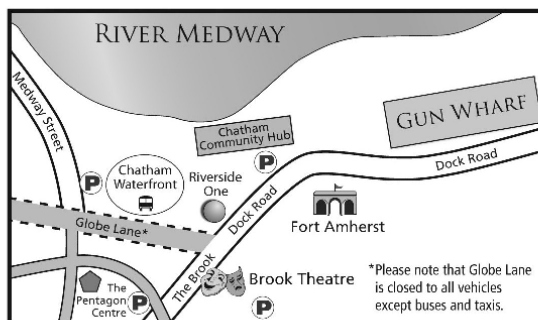
Items

16 Additional Information - Presentation

**(Pages
3 - 98)**

For further information please contact **Ellen Wright, Democratic Services Officer** on Telephone: 01634 332012 or Email: democratic.services@medway.gov.uk

Date: 14 December 2016



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available on our website
www.medway.gov.uk

A summary of this information can be made available in other formats from **01634 333333**

If you have any questions about this meeting and you want to speak to someone in your own language please ring **01634 335577**

বাংলা 331780
中文 331781

ગુજરાતી 331782
हिंदी 331783

ਪੰਜਾਬੀ 331784
Polski 332373

کوردی 331841
এহেৎশফব 331786

اروو 331785
فارسی 331840

Русский 332374
Lietuviškai 332372

Planning Committee

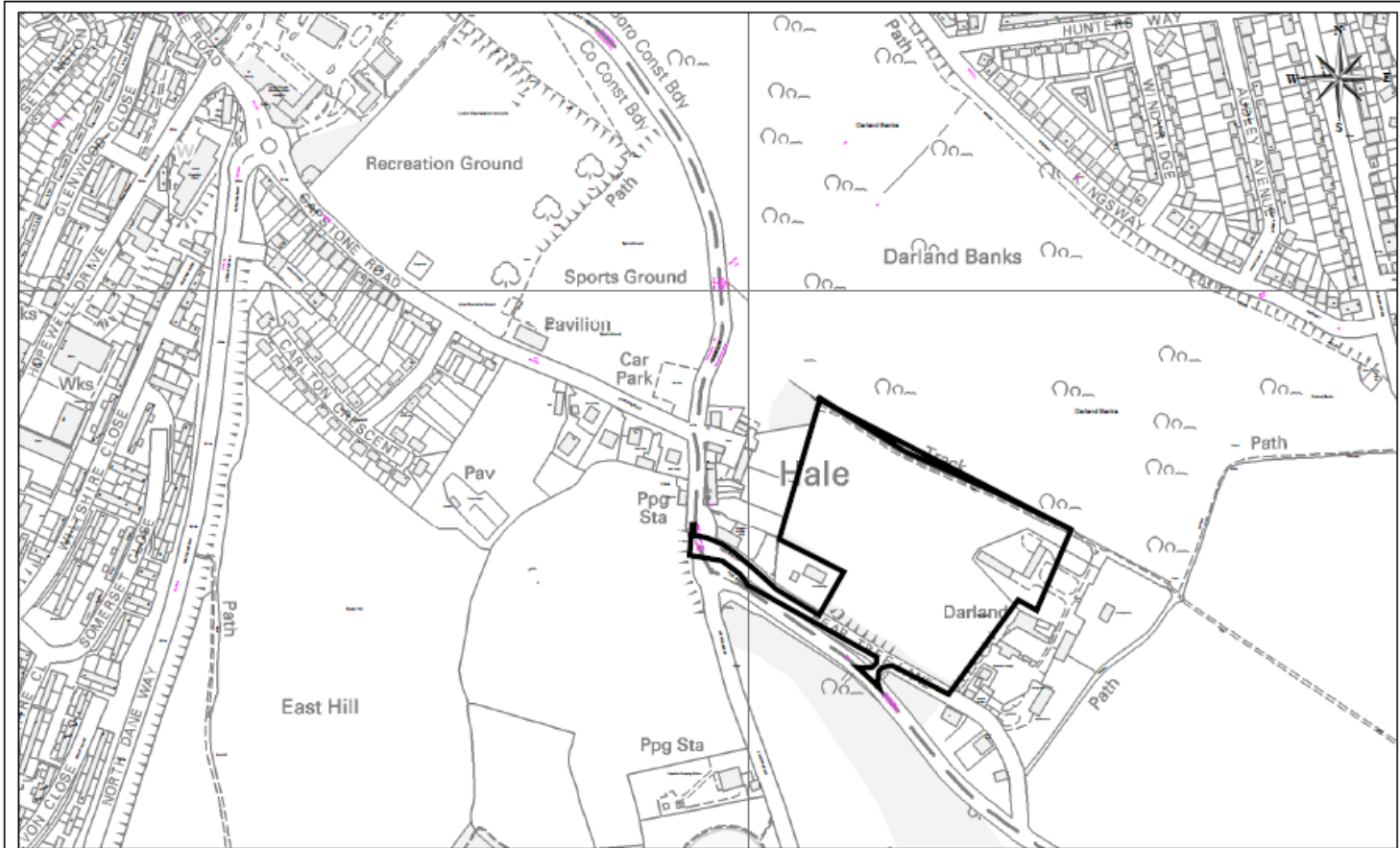
14 December 2016

MC/16/2653

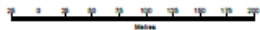
**Elmsleigh Lodge 118 Maidstone
Road Chatham**

MC/16/2776

**Land At Brickfields Darland Farm
Pear Tree Lane Hempstead**



MC/16/2776 Land At Brickfields Darland Farm Pear Tree Lane Hempstead Gillingham



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Scale: 1:5000 02/11/16

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Site from entrance off Pear Tree Lane looking towards Darland Banks

∞



Site looking towards Darland Banks



Site from Darland Banks (1)



Site from Darland Banks (2)



Old Pear Tree Lane looking south-east



Old Pear Tree Lane looking north-west



Old Pear Tree Lane looking towards site entrance from Wagon at Hale

14





15
 SITE LAYOUT PLAN

14. Date	Client
21-06-16	HEAVE PLANNING CONSULTANTS
	Job Title
	PROPOSED HOUSES AT



Drawing No.	Scale
SITE PLAN	A1
Drawn	

Scale	A1
Drawn	

Landscape Masterplan

Darland Farm
Gillingham

Proposed tree species



Field maple



Hornbeam



Hawthorn



Crab apple



Oak



Native cherry



Beech



This drawing and design are the copyright of Lloydbore Landscape Architects. Do not make any alterations.
All drawings to be checked and signed by contractor prior to commencement of any work.
All materials, components and materials shall comply with the relevant British Standards. Create attractive and sustainable urban environments.

Darland Bank

Residential clusters defined and characterised by rings of native woodland

Proposed pedestrian route flanked by native species hedgerows and trees

Central parkland to be defined in character accommodating sensitive designed to maximize ecological potential, native grass, native trees and informal paths

Extensive linear beds of tree planting to enhance views from Darland Bank

Recent residential development at Darland Farm

Wiggins at Hill public house

The Garage

Existing woodland retained and managed

Existing woodland retained and managed

Access road flanked by earthed banks of meadow grass and wild flora, with native hedgerows and canopy trees

Plow Tree Lane

Plow Tree Lane

Plow Tree Lane / Capstone Road roundabout



Holly



Dogwood



Garden rose



Dog rose



Elder



Blackthorn



Hawthorn

Proposed shrub and herbaceous species



Yew



Wild service tree



Rose



Alder buckthorn



Traveler's tree

Scale: 1:1000
Date: 27/06/19
Drawing No: 2706_DR_001
Project Name: Land at Darland Farm, Gillingham

Author: Landscape Masterplan

PLANNING
Date: 18/08/19
Scale: A1
Drawing No: 19

lloydbore
10 ST GEORGE'S PLACE
GATEWAY
WEST CTY 117
t: 01227 484 340
e: info@lloydbore.co.uk
www.lloydbore.co.uk

Revised plan received 12 December 2016



Rev	Description	Int.	Date	Client
A	Layout revised	AT	21.06.16	HOME PLANNING CONSULTANTS
B	Proposed housing included	MB	19.09.16	
C	Minor amendments to layout	MB	19.09.16	
D	Proposed housing omitted	MB	19.09.16	
				Job Title
				PROPOSED HOUSES AT DARLAND FARM

CDP
CDP Architecture Ltd
 22-23 North Lane, Canterbury
 Kent CT1 3JG
 Tel: 01227 488161 Fax: 01227 413149
 info@cdparch.co.uk www.cdparch.co.uk

Drawing Title
SITE PLAN

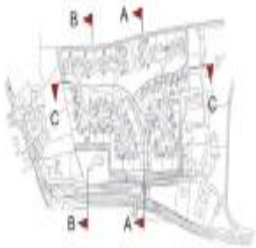
Code	#	Issue	Preparation/Comment
Drawn	MB		Planning
Check			Planning Requirements
Checked			Verbal
Approved			Construction
Rev.			Rev. 2016

712 :L(---) 01 D



SECTION A A

KEY PLAN



SECTION B B



SECTION C C

No	Description	Rev	Date

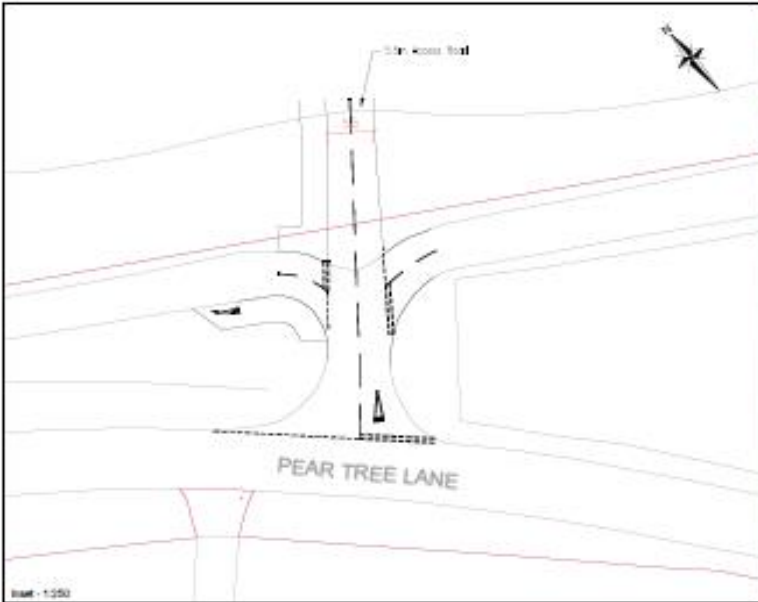
DRAWN BY: HMM PLANNING CONSULTANTS
 CHECKED BY: HMM PLANNING CONSULTANTS
 DATE: 10/10/2023
 PROJECT: 10/10/2023
 DRAWING NO: 10/10/2023



DRAWING TITLE: SITE SECTIONS
 DRAWING NO: 10/10/2023
 DATE: 10/10/2023
 PROJECT: 10/10/2023
 DRAWING NO: 10/10/2023

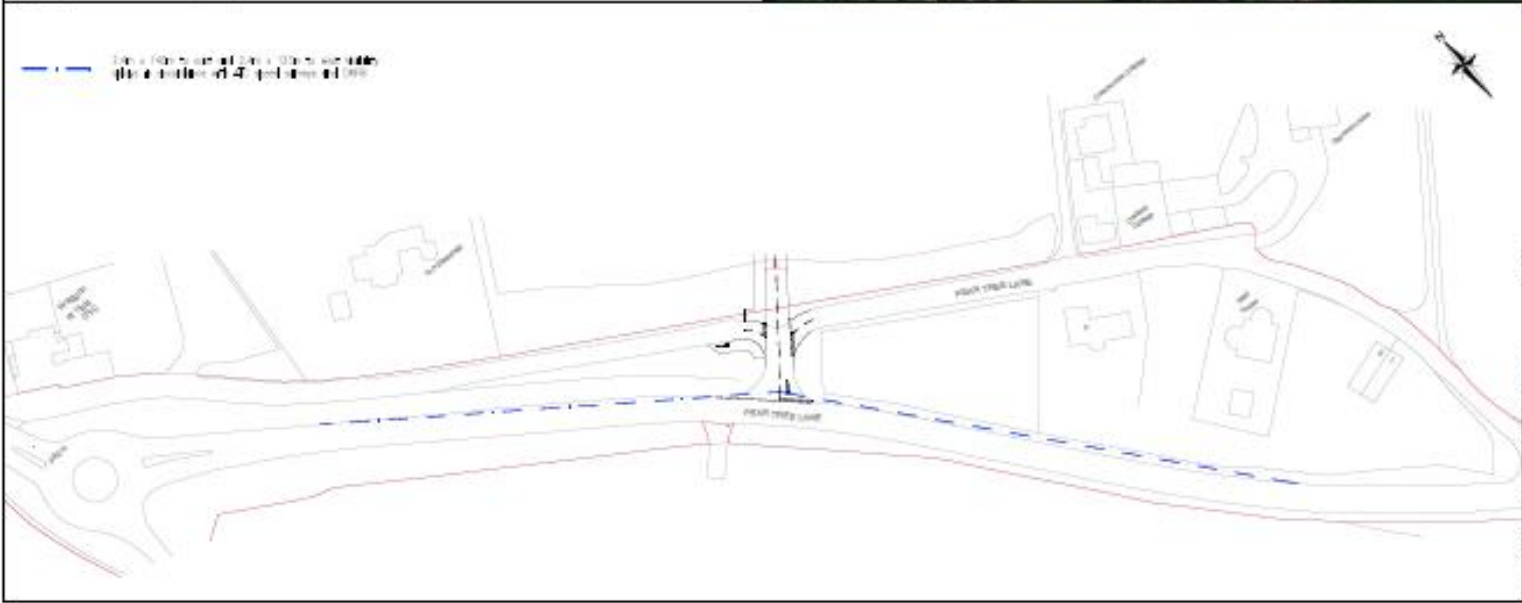
NO	REVISION/DATE

10/10/2023
 10/10/2023



ACT08

Access Route



1	2	3	4	5	6
7	8	9	10	11	12
13	14	15	16	17	18

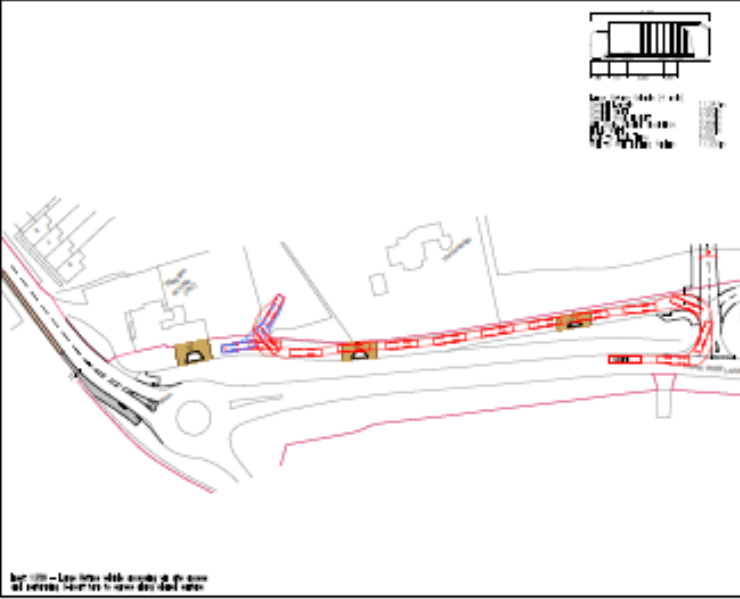
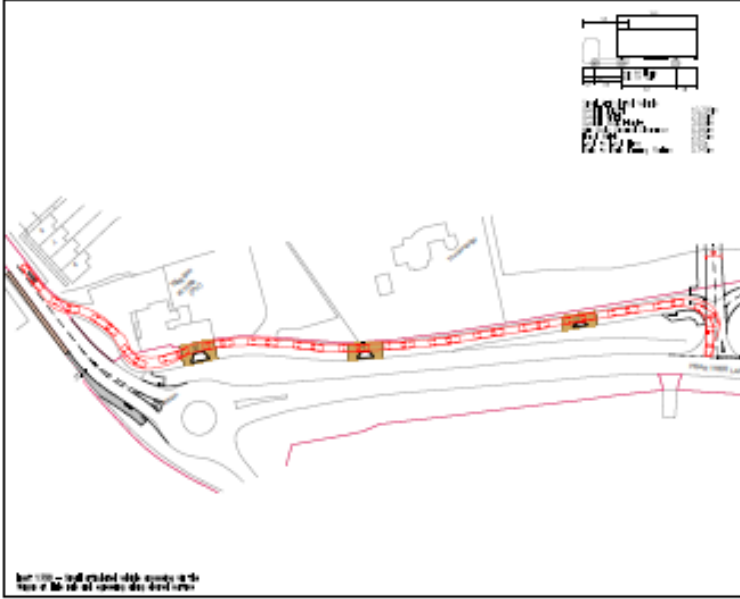
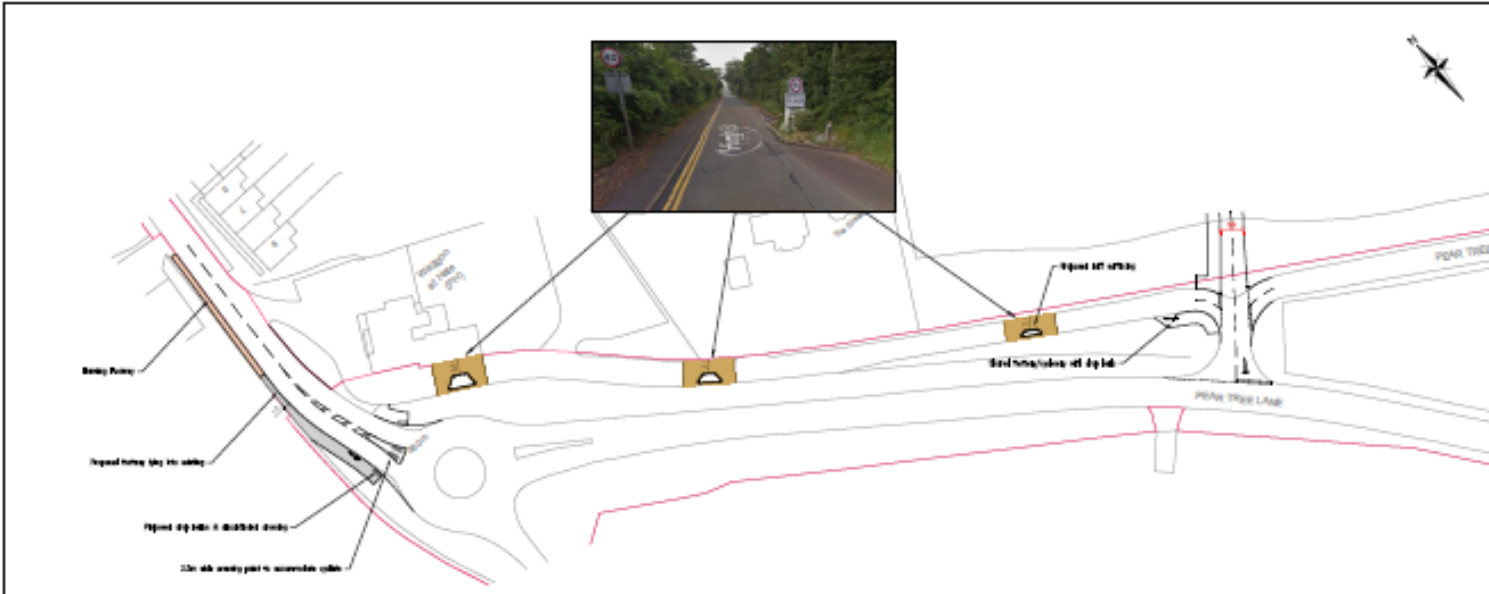
CEA
Consulting Engineers Ltd

Deerland Farm,
Chatham

Site Access - Proposed

Home Planning Consultancy Ltd

Date:	15/01/18	Drawn:	DH
By:	PH	Checked:	JW
Scale:	1:500	Project No:	16/007/007



GA
Consulting Engineers Ltd

Dearland Farm,
Chatham

Proposed Footway Connection &
Traffic Calming

Hume Planning Consultancy Ltd

Rev	Issue	By	Date
0.001	Issue 01	GA	01/10/2021
0.002	Issue 02	GA	01/10/2021
0.003	Issue 03	GA	01/10/2021

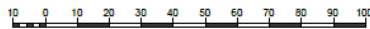
18/007 18/007/002

MC/16/4274

The Royal Marine 7 River Street
Brompton



MC/16/4274 The Royal Marine 7 River Street Brompton



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Serving You

Scale: 1:1250 28/11/16

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Site Frontage



Rear Elevation



River Street



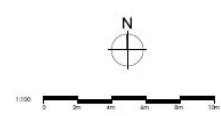
View of north east flank



Extreme rear boundary of pub garden



Site Plan



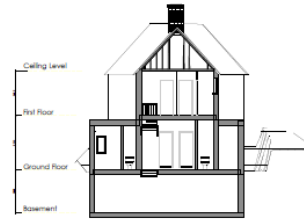
Client	UBIQUE Architects
Address	11 Ashford House, Seabrook Court, 28 Thomas Langley Road, Rochester, Kent, ME3 4FA
Phone	01734 226640
Email	info@ubique-arch.co.uk
Website	www.ubique-arch.co.uk
Architect	Vincent Young & Chief Barber
Project	The Royal Marine, 7 River Street, Bevington, Gillingham, Kent, ME7 5BQ
Document	Proposed Site Plan
Date	September 2014 1:100@A1
Drawing No.	619-202
Revision	A

PLANNING ONLY

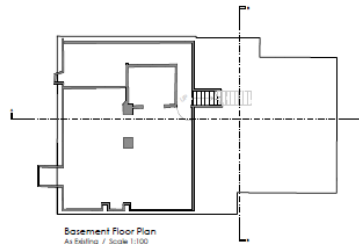
Existing floor plans



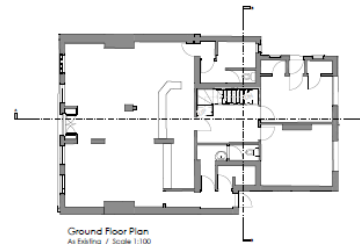
Section A-A
As Existing / Scale 1:100



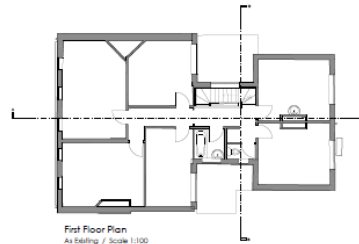
Section B-B
As Existing / Scale 1:100



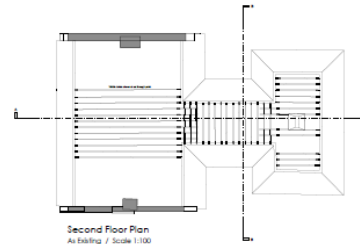
Basement Floor Plan
As Existing / Scale 1:100



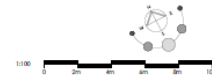
Ground Floor Plan
As Existing / Scale 1:100



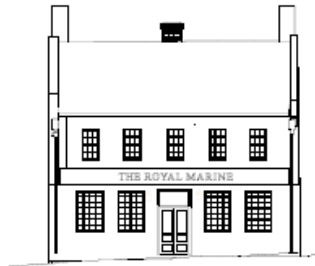
First Floor Plan
As Existing / Scale 1:100



Second Floor Plan
As Existing / Scale 1:100

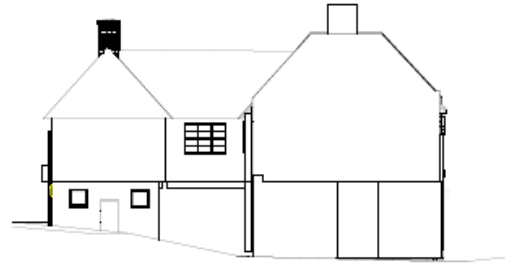


Existing Elevations



North West Elevation
As Existing / Scale 1:100

202506-001
Front Elevation



North East Elevation
As Existing / Scale 1:100

202506-001
Left Elevation



South West Elevation
As Existing / Scale 1:100

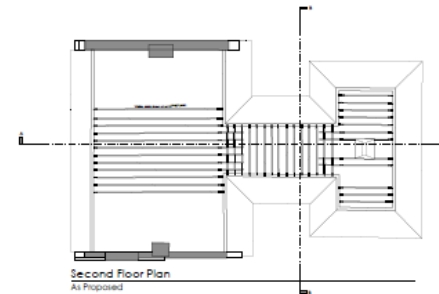
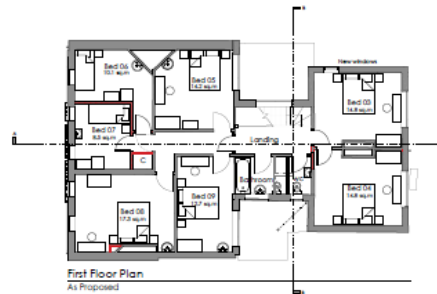
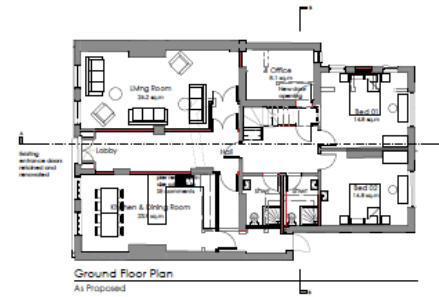
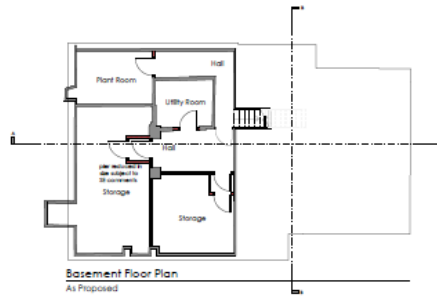
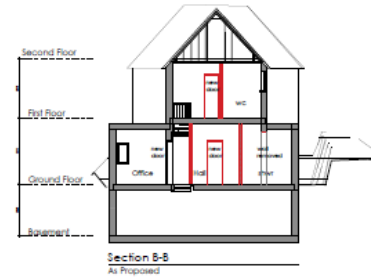
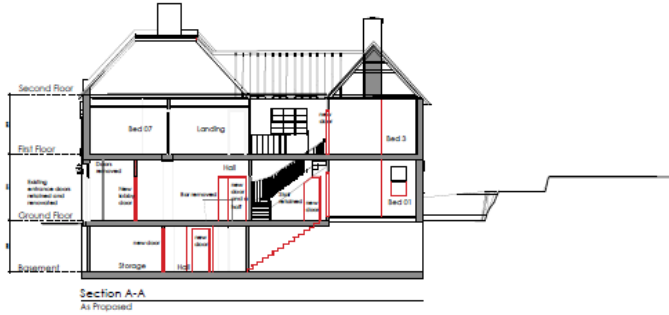
202506-001
Right Elevation



South East Elevation
As Existing / Scale 1:100

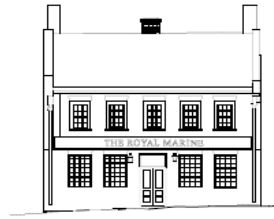
202506-001
Right Elevation

Proposed Floor Layout



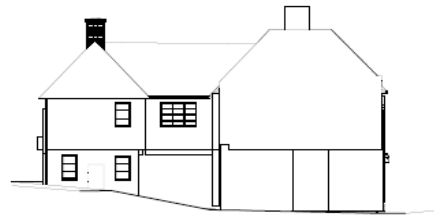
Bedding, Wall, Doors, windows, fixtures, kitchen and
bathroom not included.

Proposed Elevations



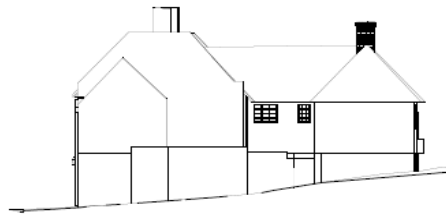
North West Elevation
As Proposed

202004-002
Front Elevation



North East Elevation
As Proposed

202004-002
Left Elevation



South West Elevation
As Proposed

202004-002
Right Elevation



South East Elevation
As Proposed

202004-002
Right Elevation

MC/16/3566

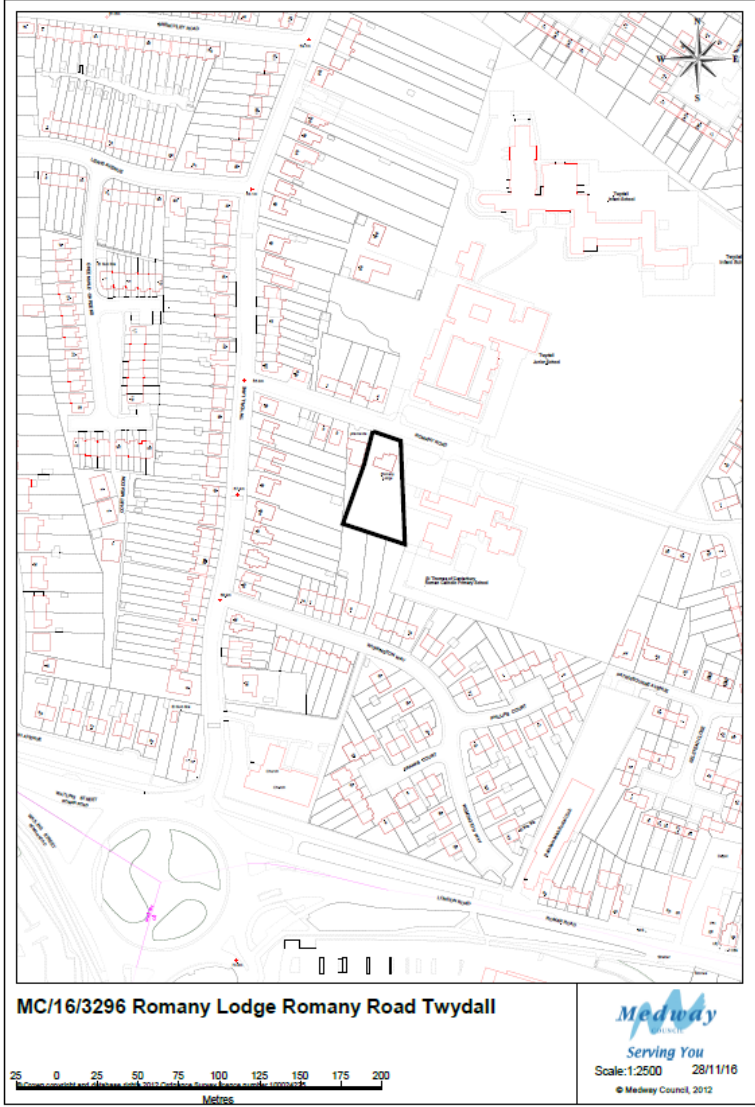
Land To The Rear Of 21-23 Asquith
Road Rainham

MC/16/3567

Block Of Garages, Land To The Rear
Of 21-23 Asquith Road Rainham

MC/16/3296

Romany Lodge Romany Road,
Twydall



The application site



Rear (south) elevation of existing property



Boundary to the west



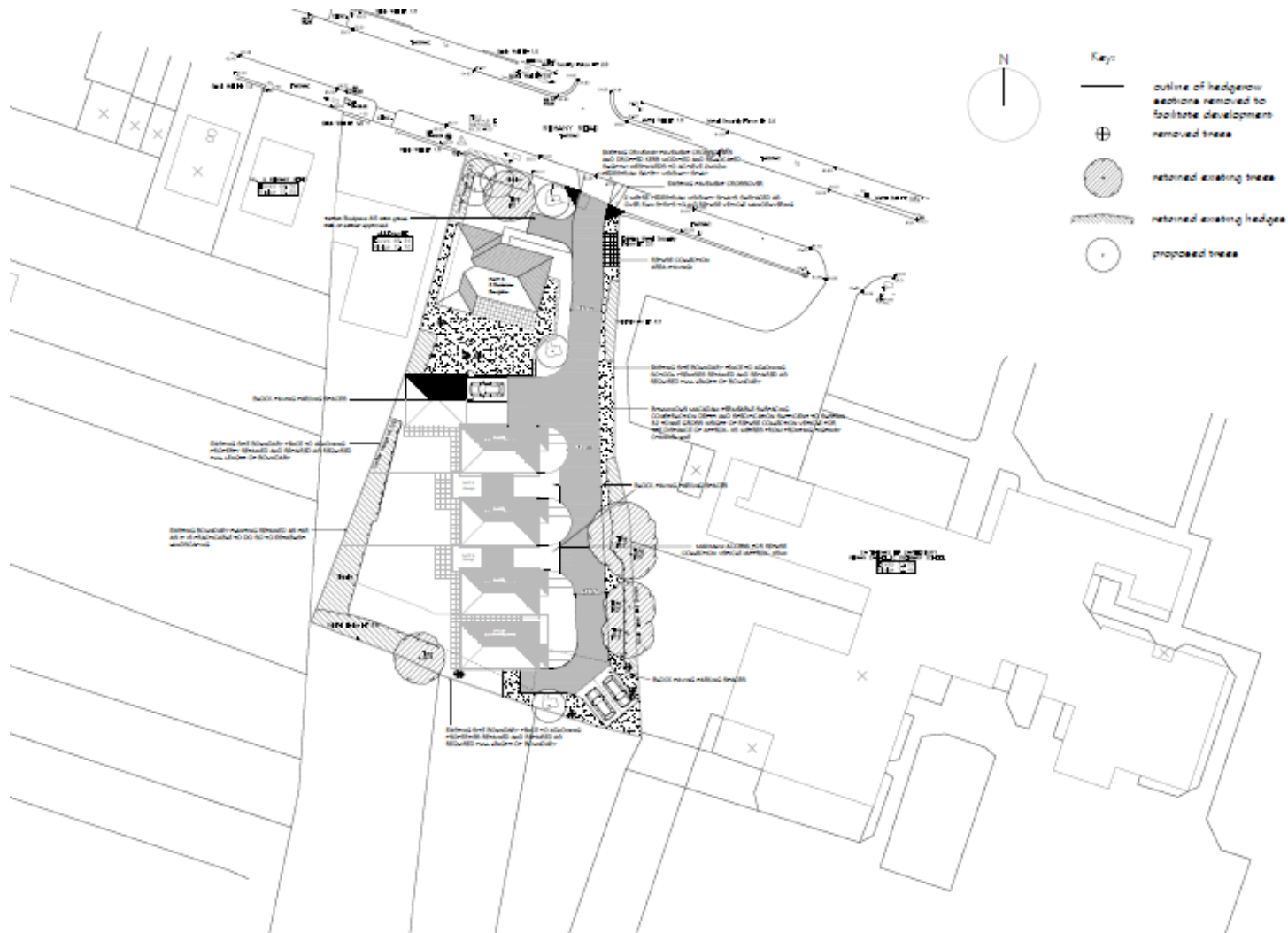
Boundary to the east



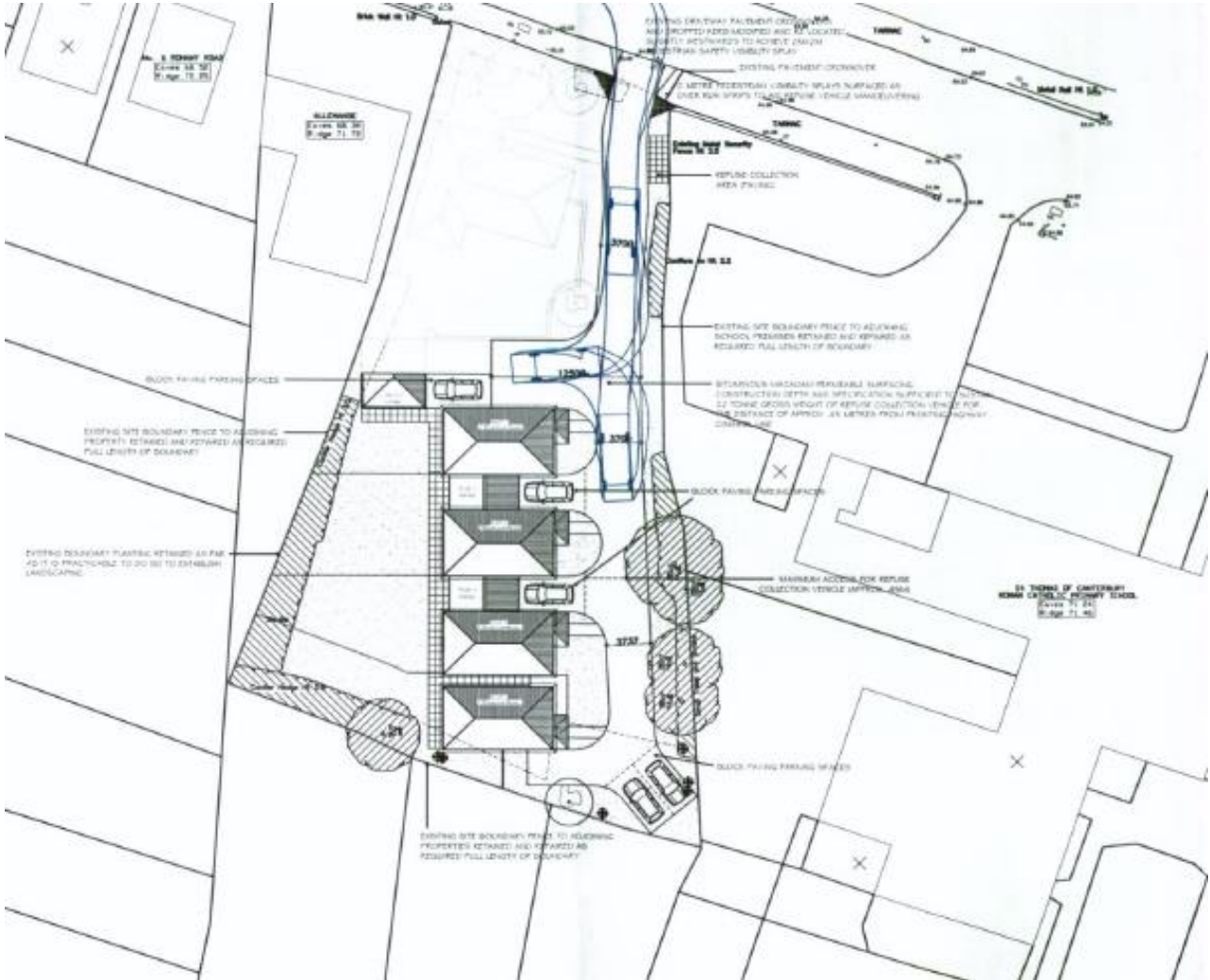
Boundary to the rear (south)



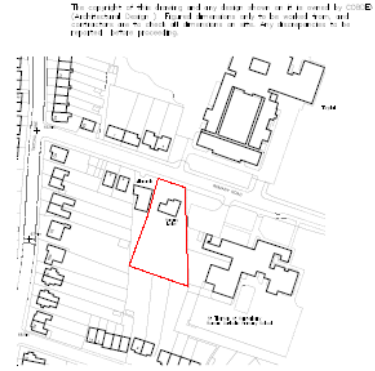
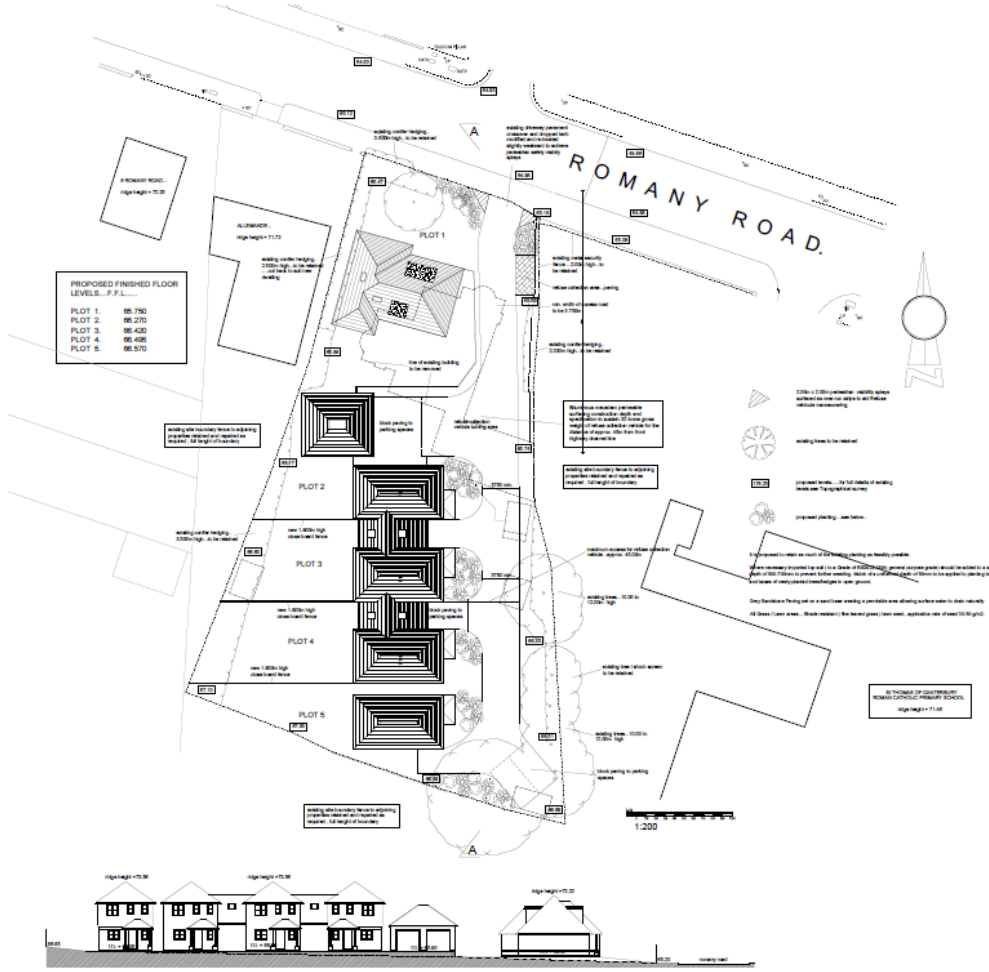
Previously approved site plan



Previously approved site layout plan



Proposed site layout



The majority of the drawings and any other documents are owned by COB DEN Architectural Design Ltd. If you have any queries or require any information, please contact us via the details below or email us at info@cobden.co.uk



COB DEN
ARCHITECTURAL DESIGN LTD
 Unit 10, The Arcade House, High Road, Secombe, East Didsbury, Manchester M20 2JG
 Tel: 0161 872 2222 Fax: 0161 872 2223 Email: info@cobden.co.uk www.cobden.co.uk

proposed development of... **HOPTONACRE HOMES LLP**
 Romany Lodge,
 Romany Road,
 Gillingham,
 Kent
 CT14 4K

date: **dec. 2015** by: d.j.s.
 scale: **1:200 @ A1**
 Project Name: **Proposed Site Layout...**
 Drawing No: **COB/15/720/01B**

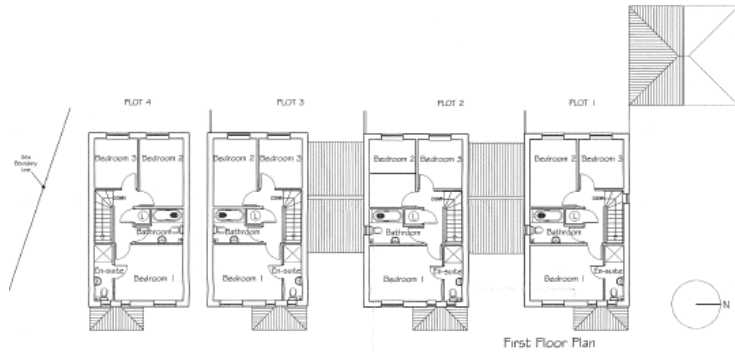
Previously approved elevational plans



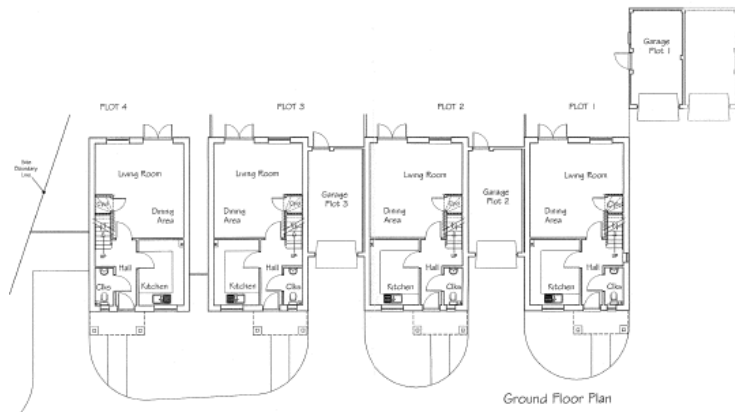
Front (East) Elevation



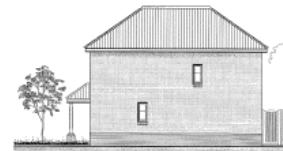
Rear (West) Elevation



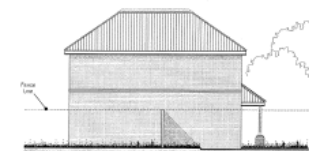
First Floor Plan



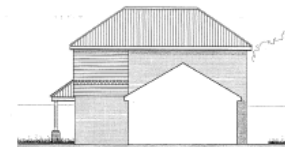
Ground Floor Plan



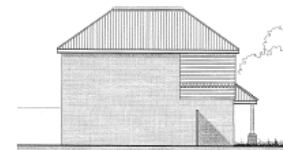
Side (North) Elevation



Side (South) Elevation



Side (North) Elevation Plot 3
showing extent of tile hanging



Side (South) Elevation Plot 3
showing extent of tile hanging

MC/13/0138

MEDWAY
21 JAN 2020
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0 5 m

Revisions Date Drawn

All work to be to the satisfaction of the B.C.C. or Local Authority and all drawings to be submitted to the Local Authority for their approval. All work to be done in accordance with the Building Regulations. These plans are not to be used for any other purpose without the written consent of the Architect. All parties are to be responsible for the construction and stability of any work shown on these plans. The Architect is not responsible for any work shown on these plans which is not shown on these plans or which is not shown on these plans.

Client

Alastair Stuart (Cranbrook) Ltd.

Project

Romney Lodge, Romney Road, Gillingham, Kent

Drawing Title

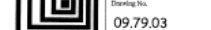
Plans and Elevations

Date Drawn Scale

15.03.2004 JW 1:100 A

Drawing No.

09.79.03



KENT DESIGN PARTNERSHIP

One Brick Farm, Blean, Kent

Budding Hill, Biddling, Sittingbourne, Kent, ME9 8NY.

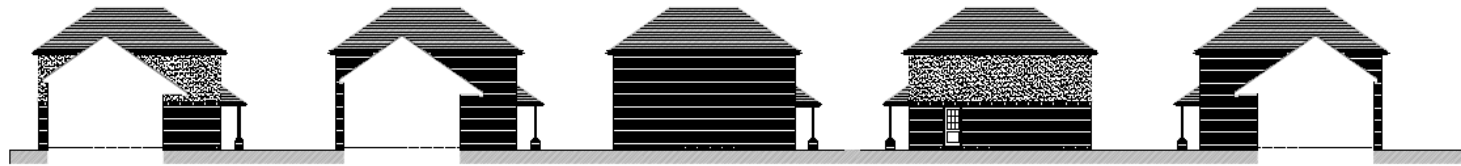
Telephone: 01795 844162. Fax: 01795 844212

Proposed elevations and floor plans

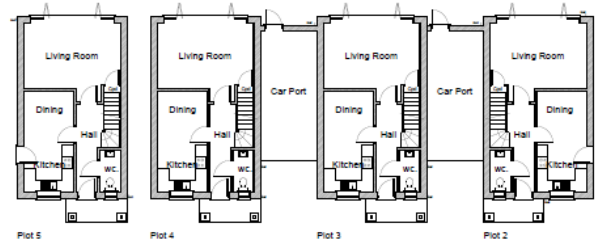
This project is the design and construction of a residential development of 1000 (E) residential units. It is a proposed development of 1000 (E) residential units, and contains a total of 1000 (E) residential units. It is a proposed development of 1000 (E) residential units.



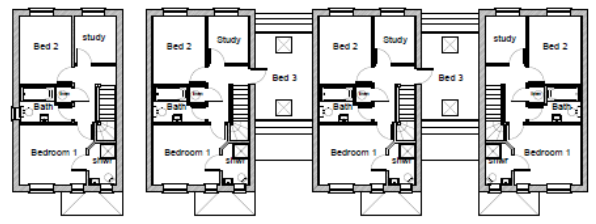
Left Flank Elevation Plot 5.... Front Elevation.... Rear Elevation....



Left Flank Elevation Plot 2... Left Flank Elevation Plot 3... Left Flank Elevation Plot 4... Right Flank Elevation Plot 2... Right Flank Elevation Plots 3 & 4..



Ground Floor Plan...



First Floor Plan...

COBDEN
 ARCHITECTURAL DESIGN LTD
 1st Floor, The Arcade House, Angle Road, Gillingham, Kent ME13 2JG
 Tel: 01795 430039 Mob: 07720000338 Email: larry@cobden.co.uk www: www.cobden.co.uk
 project: proposed development at... HOPTONACRE HOMES LLP
 Romany Lodge, Romany Road, Gillingham, Kent.
 Planning... date: Nov. 2015 sheet: b1/b
 scale: 1:100 @ A1
 drawing no.: COB/14/ 720/ 03A

Previously approved bungalow plan



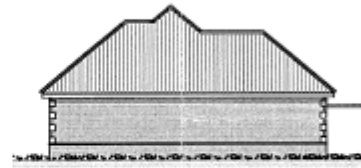
Front Elevation



Rear Elevation



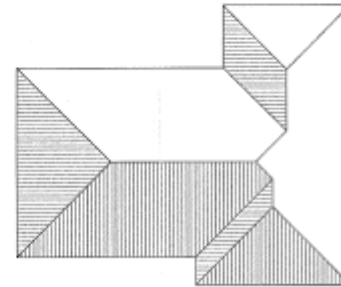
Side Elevation



Side Elevation



Floor Plan



Roof Plan

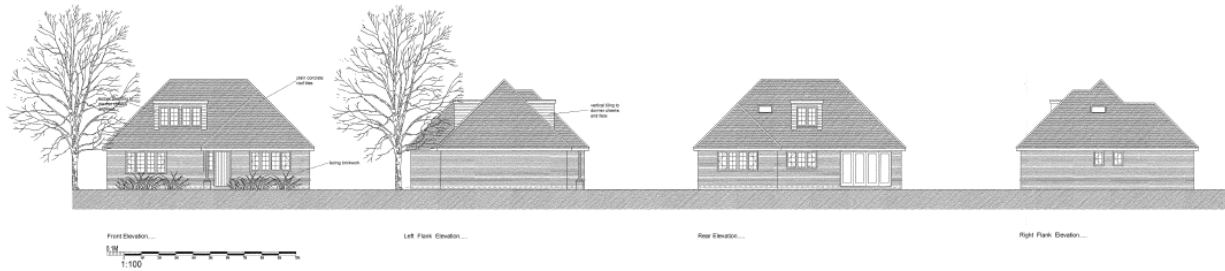
NC / 13 / 0142

Note: Floor Area:
83.14sqm
895sqft

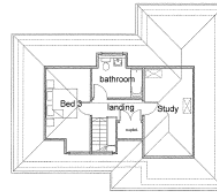
ORIGINAL 21/18

Proposed bungalow plans

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Ground Floor Plan...



First Floor Plan...

revision date approved

Plot No.: The Auction Ho, High Road, Dartmouth, Kent TN11 8J

project
 proposed development at... HOPTONACRE HOMES LLP

Romney Lodge
 Romney Road
 Gillingham
 Kent

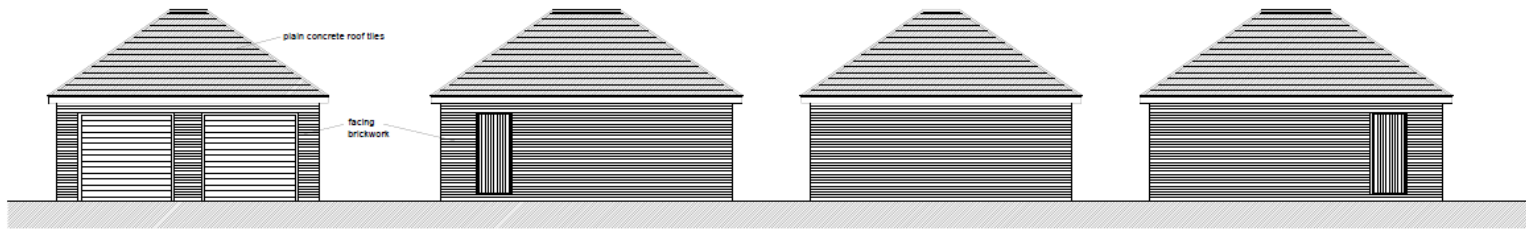
date: Nov. 2015
 scale: 1:100 @ A1
 drawing no.: COB/14/720/02



HC/116/31

Proposed garage plan

This project is the design and any drawings are prepared by COB DEN ARCHITECTURAL DESIGN LTD. For all dimensions and materials to be confirmed and approved by the relevant authorities and any necessary planning applications should be submitted to the relevant authorities for approval before proceeding.

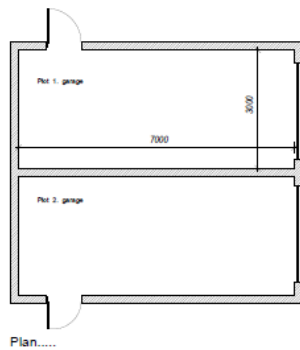


Front Elevation.....

Left Flank Elevation.....

Rear Elevation.....

Right Flank Elevation.....



A 161116 GARAGE WITH OVERHANG DESIGN... 1/16

revision title author date

COBDEN
ARCHITECTURAL DESIGN LTD

1st Floor,
The Pavilion House,
Aquila Street,
Gillingham,
Kent ME22 3LJ

tel: 01222 439227 fax: 01795 020218 email: jacob@cobden.co.uk www: www.cobden.co.uk

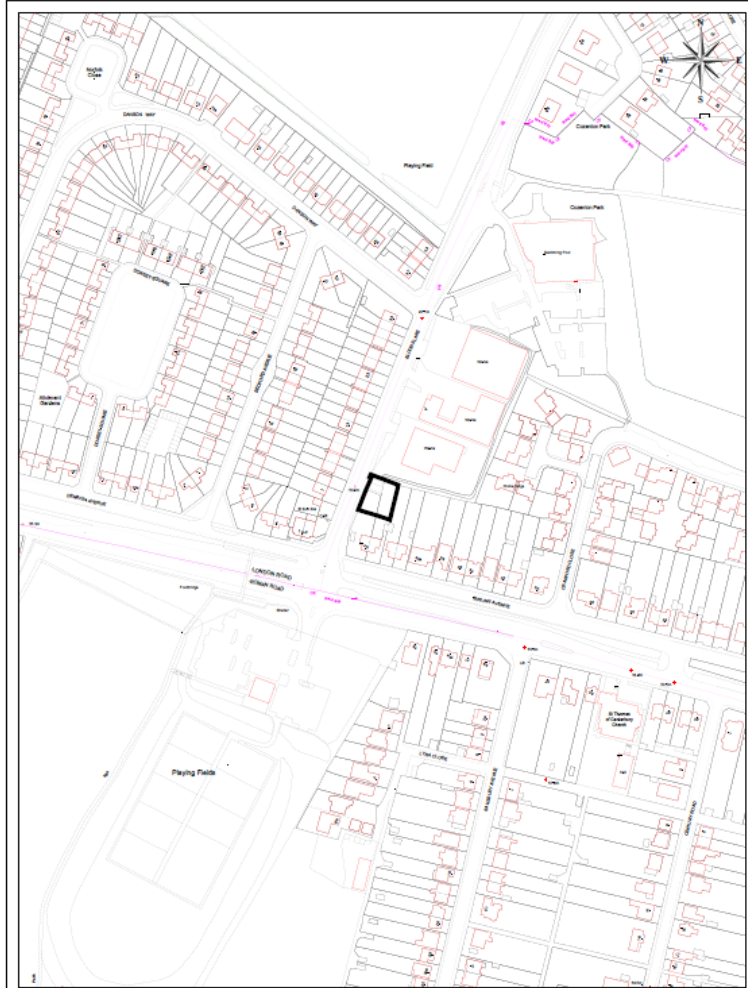
client
proposed development of... HOPTONACRE HOMES LLP

Romany Lodge,
Romany Road,
Gillingham,
Kent
ME22 3LJ

date: aug. 2016 drawn: b.j.h.
scale: 1:50 @ A1
drawing no.:
COB/15 / 720 / 04A

MC/16/2802

Rear Of 39 And 40 Birling Avenue
Rainham



MC/16/2802 Rear Of 39 & 40 Birling Avenue Rainham



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Serving You
Scale: 1:2500 28/11/16

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Land rear of 39-40 Birling Ave. Corner of Bloors Lane

52



Photo showing access road to Birling Avenue (no through rd)



Garden boundary to 40 Birling Ave and view along Bloors Lane

54



View from industrial area up Bloors Lane



Existing garage (to remain) and access point for application site

56



Relationship of site to industrial/commercial area



Showing house types and layout opposite site on Bloors Lane



No's 40 and 39 Birling Ave. From front, showing parking arrangements



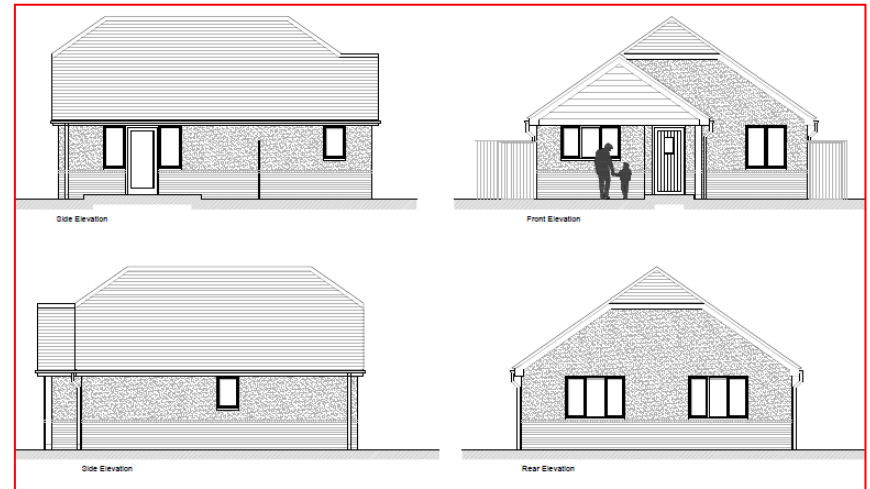
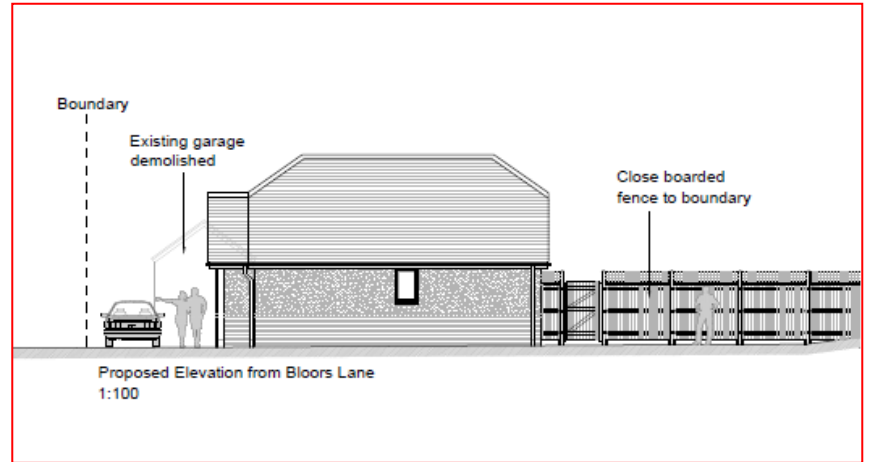
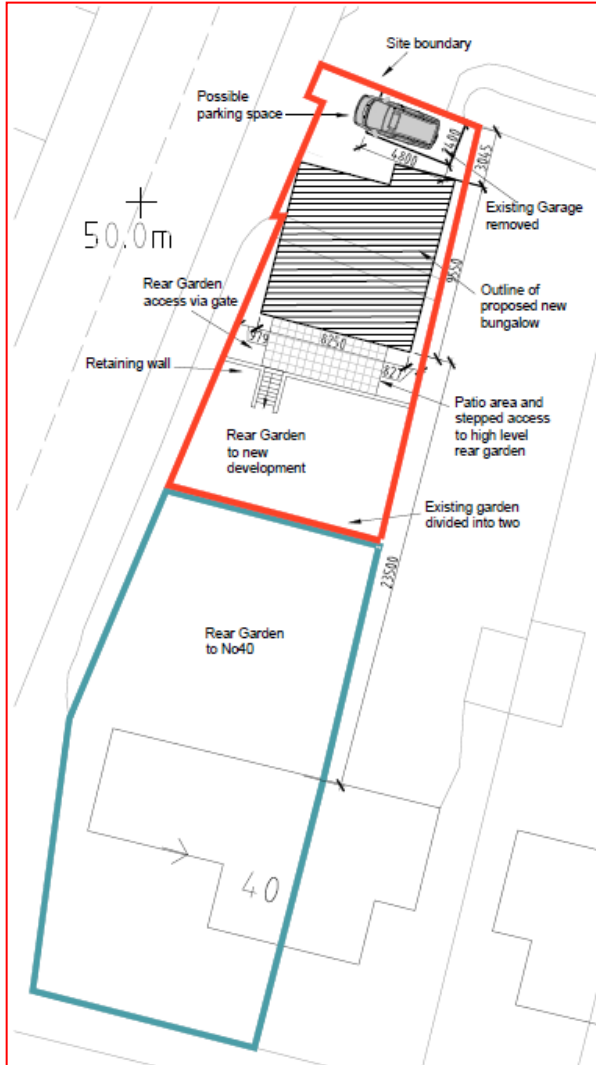
Site Plan



Existing Site Plan



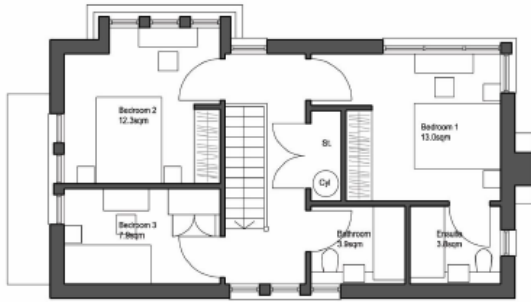
Previous refusal (site plan, street scene elevation and general elevations)



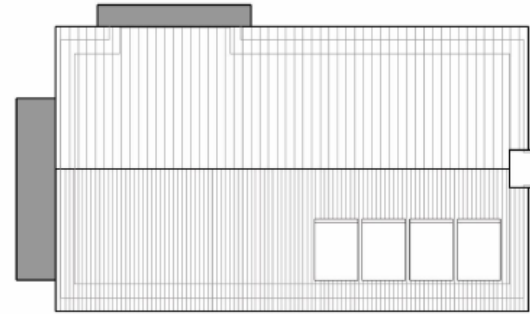
Proposed Site Plan



Proposed Floor Plans

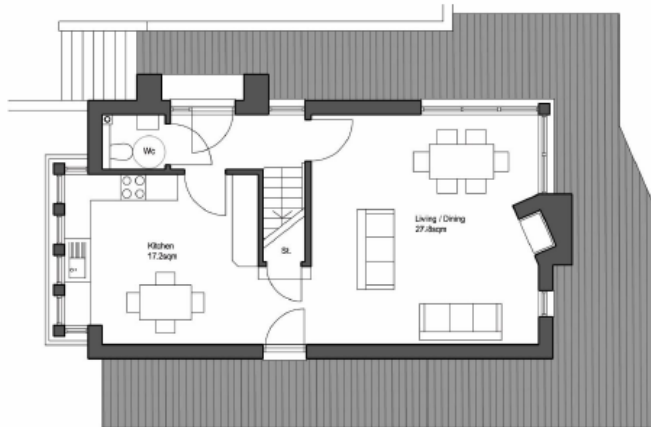


FIRST FLOOR PLAN 1: 100



ROOF PLAN 1: 100

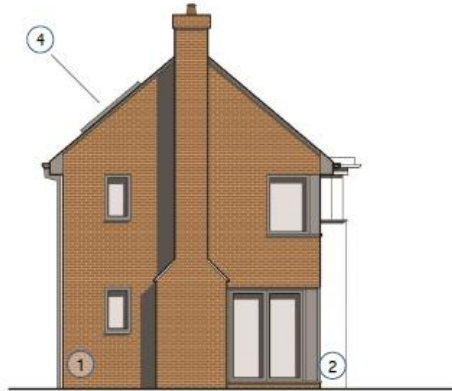
Area		
Ground Floor:	56	sqm
Living Room	27.8	sqm
Kitchen	17.2	sqm
First Floor:	55	sqm
Bedroom 1	13	sqm
Bedroom 2	12.3	sqm
Bedroom 3	7.9	sqm
Total floor area:	111	sqm
Plot Area	413	sqm
Garden /House	316	sqm
Parking	97	sqm



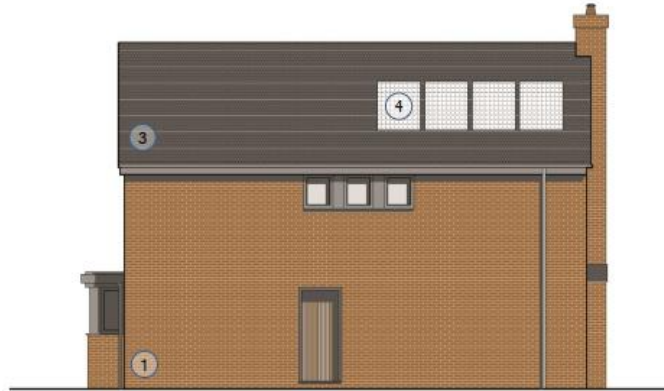
GROUND FLOOR PLAN 1: 100



Proposed Elevations



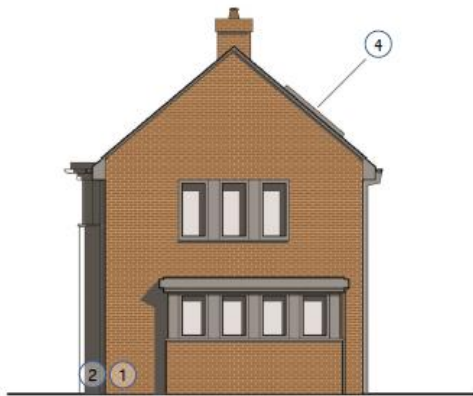
EAST ELEVATION 1: 100



SOUTH ELEVATION 1: 100

Proposed Materials:

- | | | |
|----------|---|--------------|
| Walls: | 1 | Brickwork |
| | 2 | Render |
| Roof: | 3 | Slate Tiles |
| Windows/ | 4 | Solar Panels |
| Doors: | | PVC |



WEST ELEVATION 1: 100



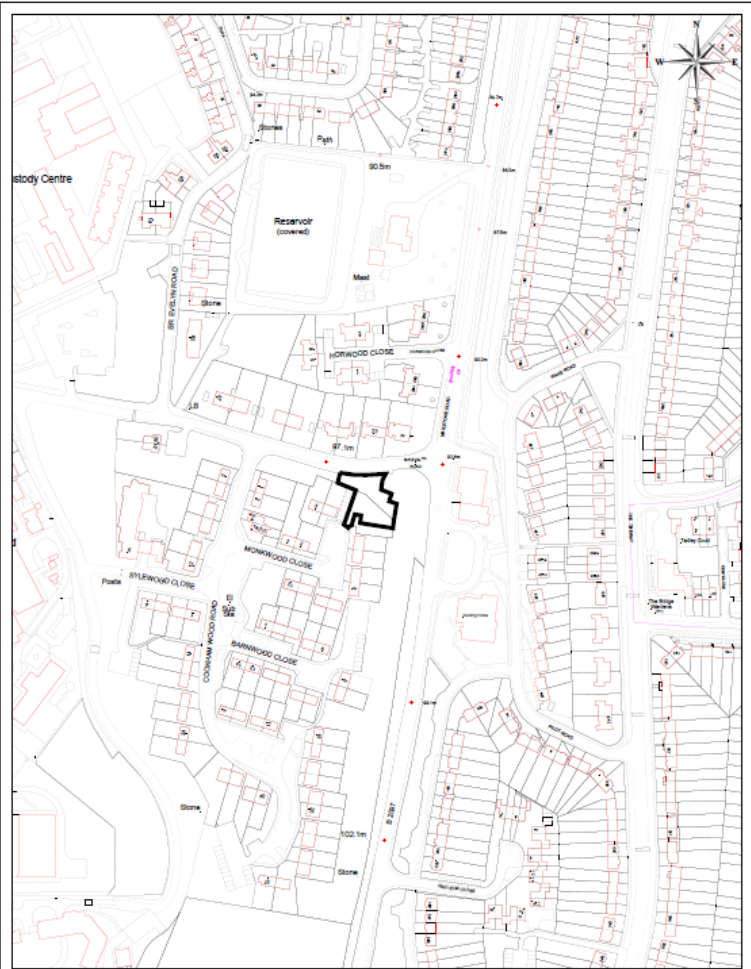
NORTH ELEVATION 1: 100

Existing and Proposed Street Scene Elevations

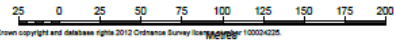


MC/15/2897

Land At The Junction Of Maidstone
Road And Sir Evelyn Road Rochester



MC/15/2897 Land At The Junction Of Maidstone Road & Sir Evelyn Road Rochester



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Site Plan



Location Plan 1:1250

Site Entrance to parking area



Garages to western boundary



Site from Sir Evelyn Road



From Site looking eastwards to trees

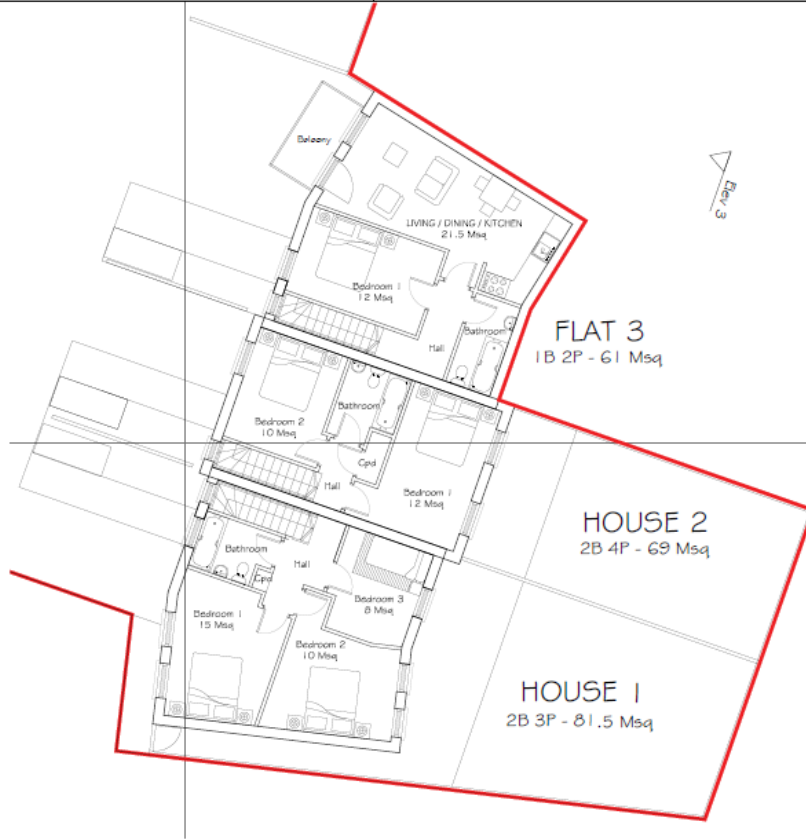


Ground Floor (proposed)



First Floor (proposed)

RESIDENTIAL DEVELOPMENT ON LAND CORNER OF MAIDSTONE RD & SIR EVELYN RD



Notes:
 1. All dimensions are in meters and millimeters.
 2. All dimensions are to the center of the wall unless otherwise stated.
 3. All dimensions are to the center of the wall unless otherwise stated.
 4. All dimensions are to the center of the wall unless otherwise stated.
 5. All dimensions are to the center of the wall unless otherwise stated.
 6. All dimensions are to the center of the wall unless otherwise stated.
 7. All dimensions are to the center of the wall unless otherwise stated.
 8. All dimensions are to the center of the wall unless otherwise stated.
 9. All dimensions are to the center of the wall unless otherwise stated.
 10. All dimensions are to the center of the wall unless otherwise stated.

Residential Development
 Land on Corner of
 Maidstone Rd & Sir Evelyn Rd
 Rochester, Kent

FIRST FLOOR
 PROPOSED

Scale: 1:100
 Date: 01/11/2011



222 High Road, Kent
 Maidstone ME14 2JG
 www.abidefirst.co.uk



Scale Meters - 1:100
 0 1 2 3 4 5

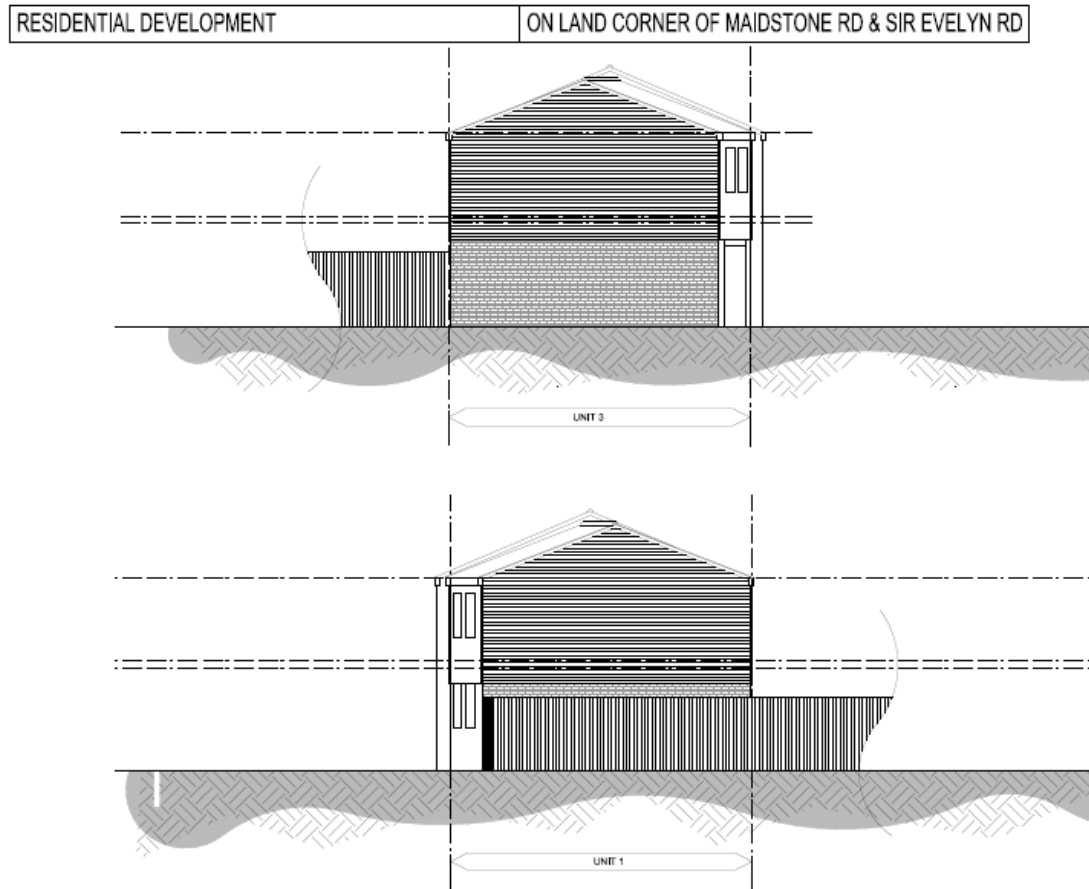
PLANNING
 SUBMITTED TO:
 PLANNING APPROVAL &
 BUILDING CONTROL APPROVAL

First Floor Plan 1:100

Front and Rear Elevations (proposed)



Side Elevations (proposed)



Proposed Layout plan

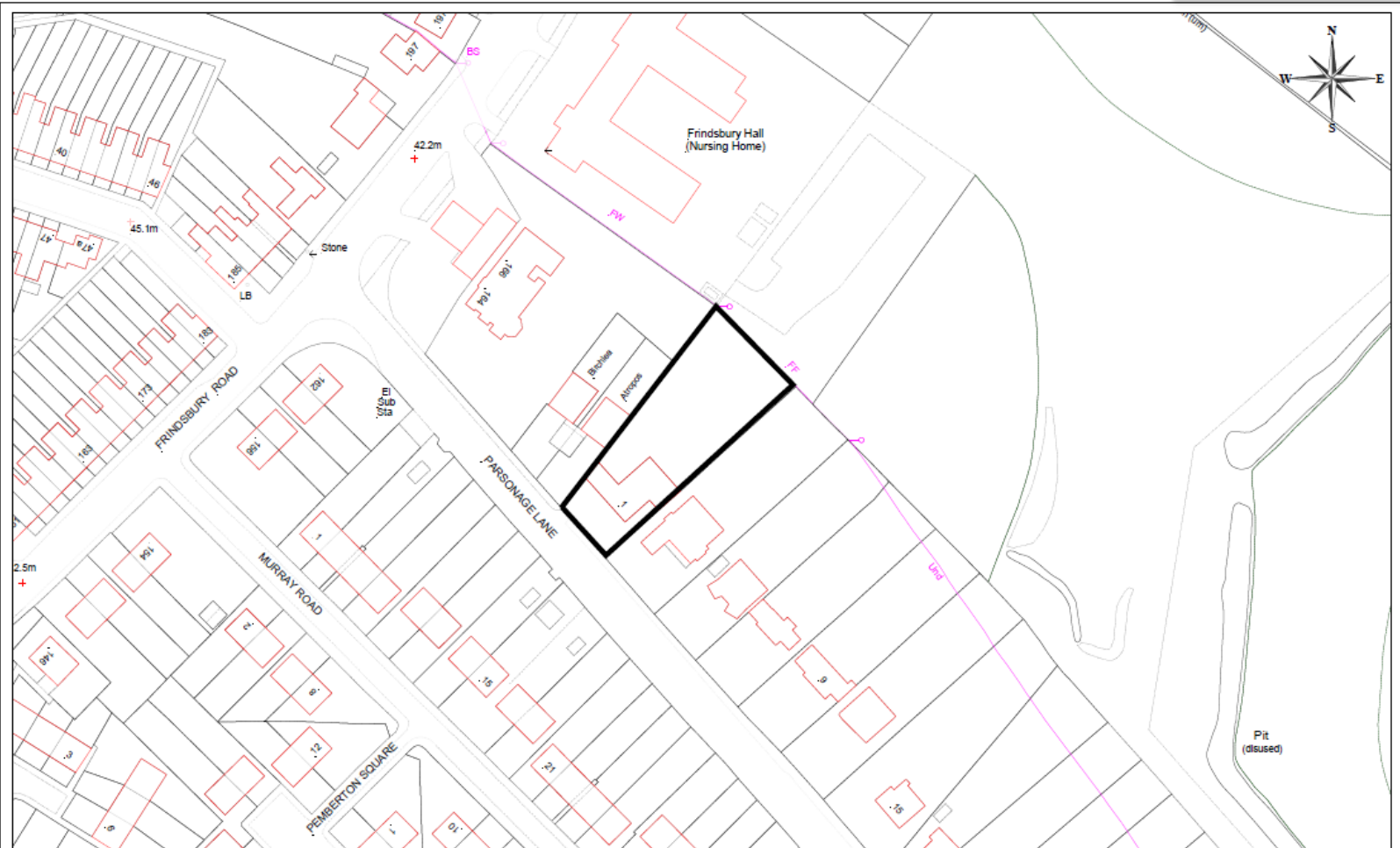


View of site from Sir Evelyn Road

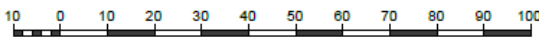


MC/15/1595

1 Parsonage Lane Strood Rochester



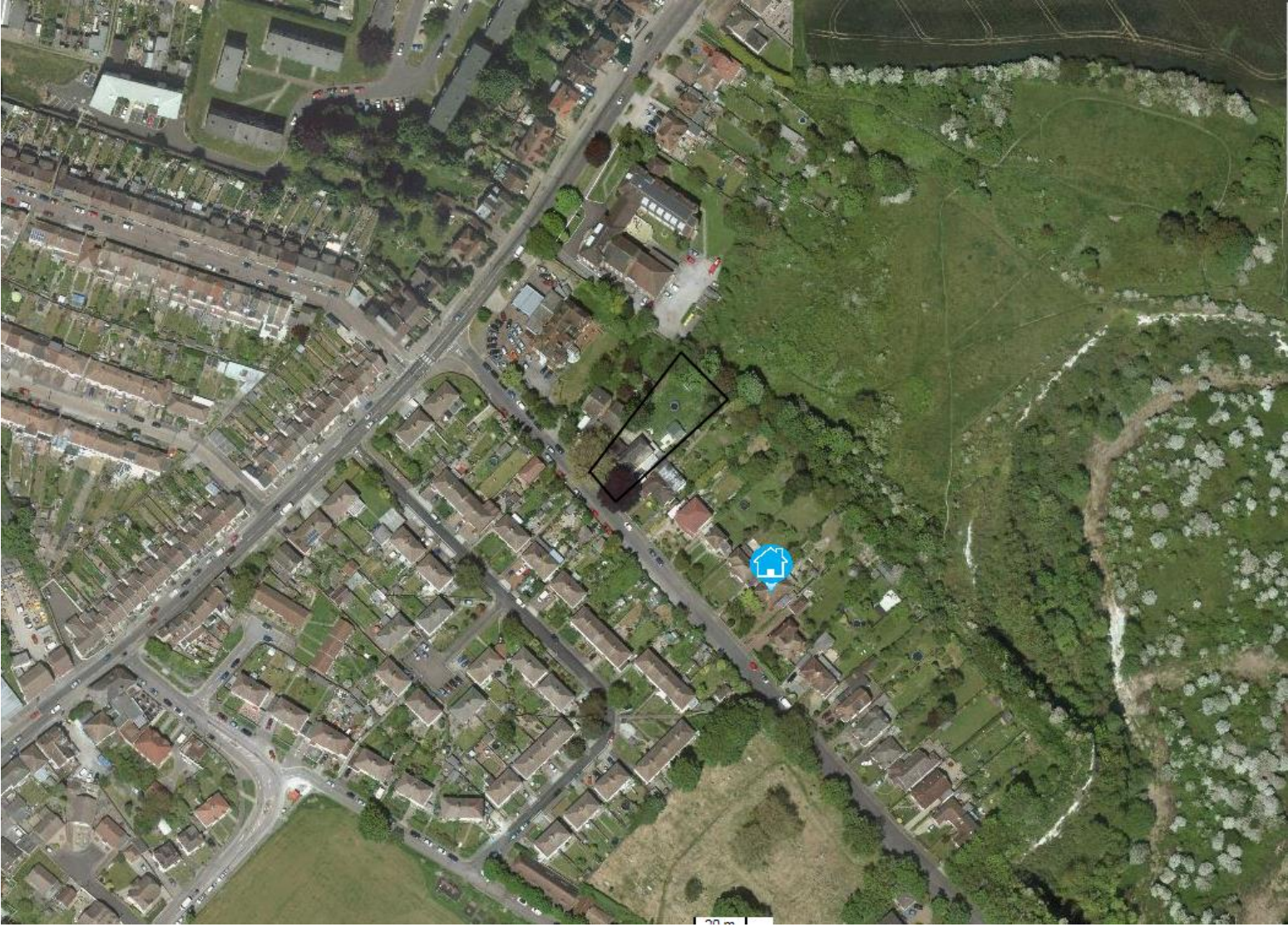
MC/15/1595 1 Parsonage Lane Strood Rochester



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Scale: 1:1250 28/11/16
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View to the rear façade of Orchard View (looking SE)



View to west, towards neighbouring property "Atropos"

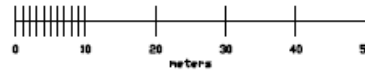
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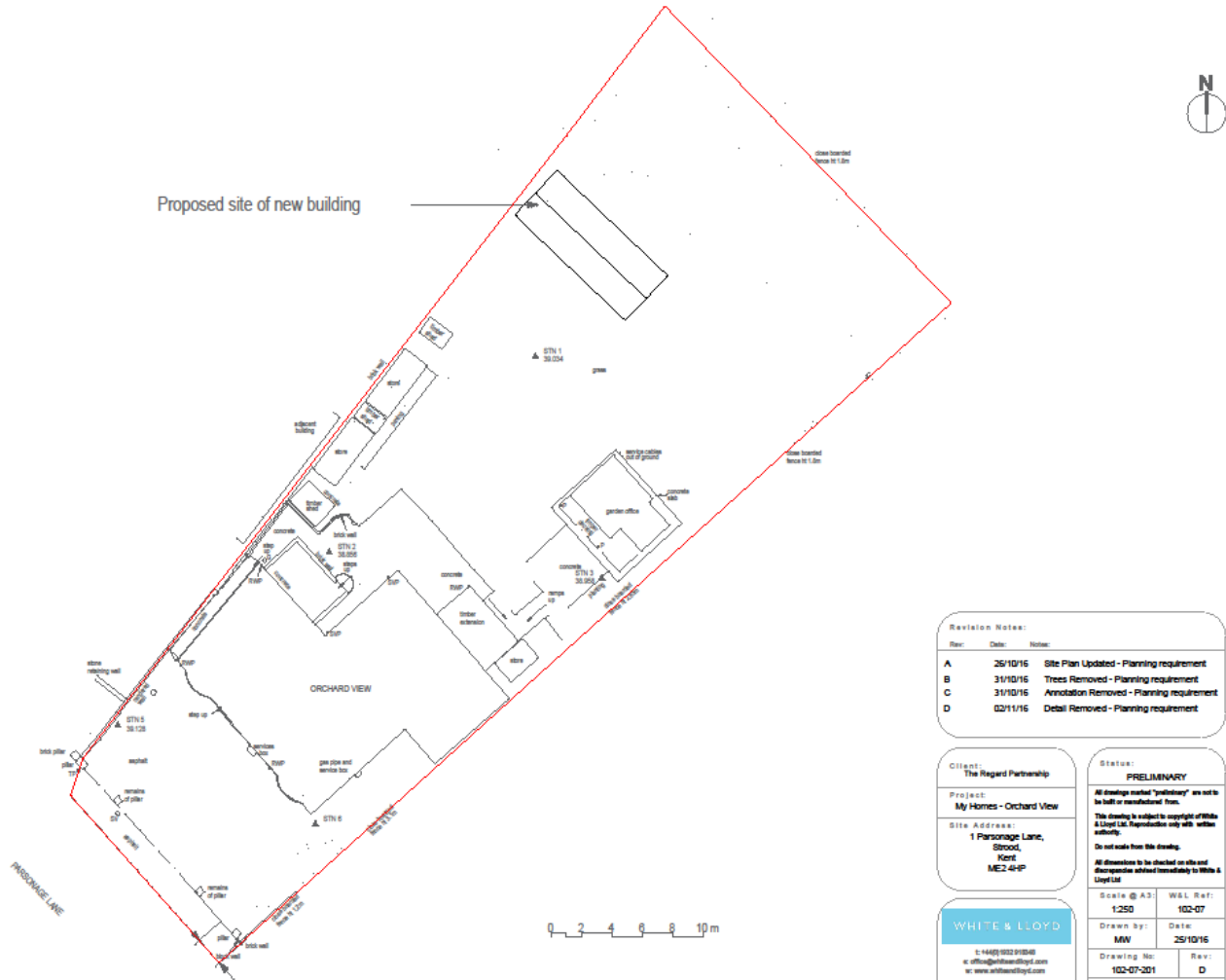
View looking north to rear of the plot



Orchard View - Site Location Plan



Proposed Block Plan



Revision Notes:

Rev:	Date:	Note:
A	25/10/16	Site Plan Updated - Planning requirement
B	31/10/16	Trees Removed - Planning requirement
C	31/10/16	Annotation Removed - Planning requirement
D	02/11/16	Detail Removed - Planning requirement

Client:
The Regard Partnership

Project:
My Homes - Orchard View

Site Address:
1 Parsonage Lane,
Strood,
Kent
ME2 4HP

Status:
PRELIMINARY

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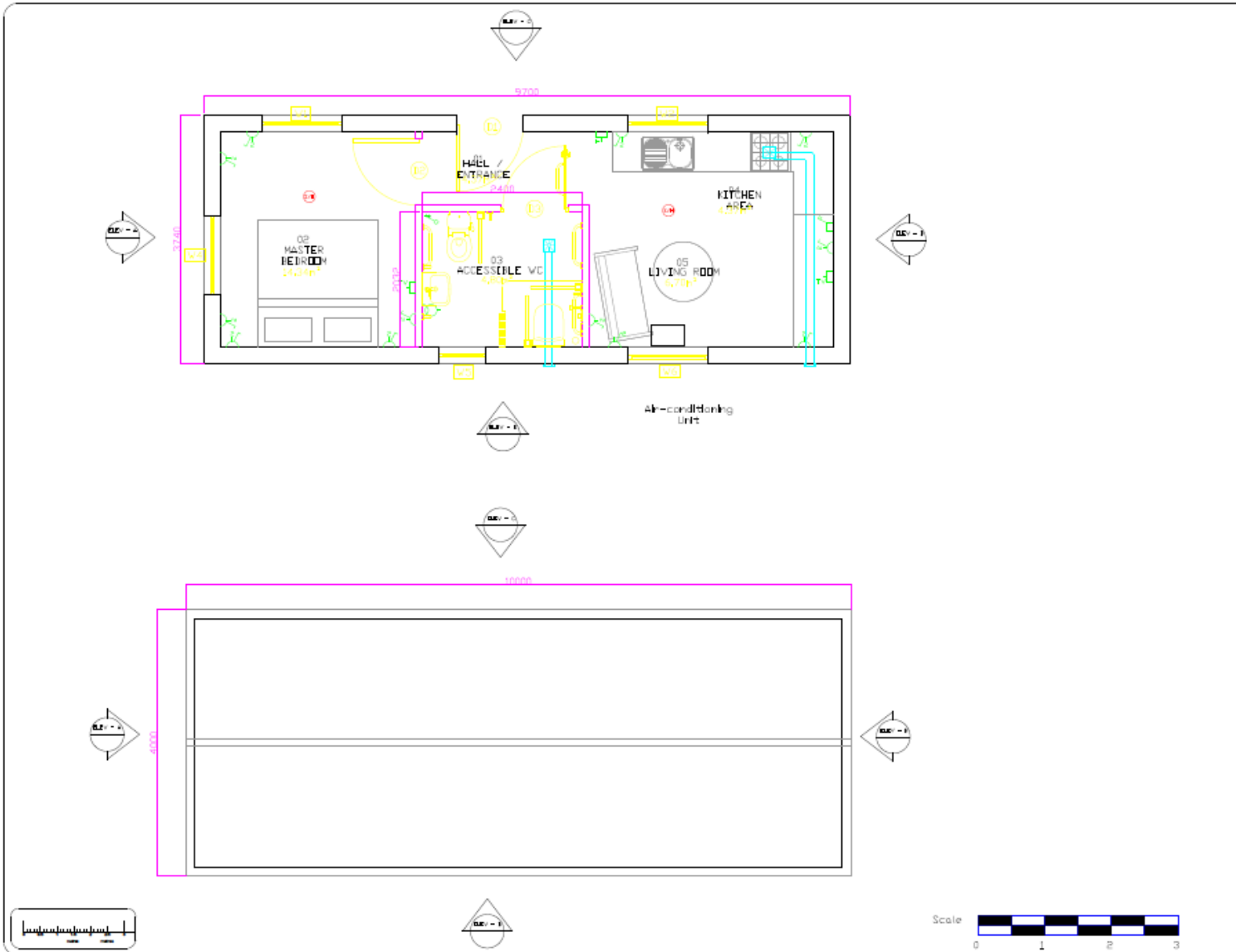
WHITE & LLOYD

014403 9322 (local)
e: office@whiteandlloyd.com
w: www.whiteandlloyd.com

White & Lloyd Ltd
75 Heath Road, Westbridge
Somerset, TA7 3JG

Scale @ A3: 1:250	W&L Ref: 102-07
Drawn by: MW	Date: 25/10/16
Drawing No: 102-07-201	Rev: D
Drawing Title: Proposed Site Plan	

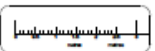
Proposed Floor Layout



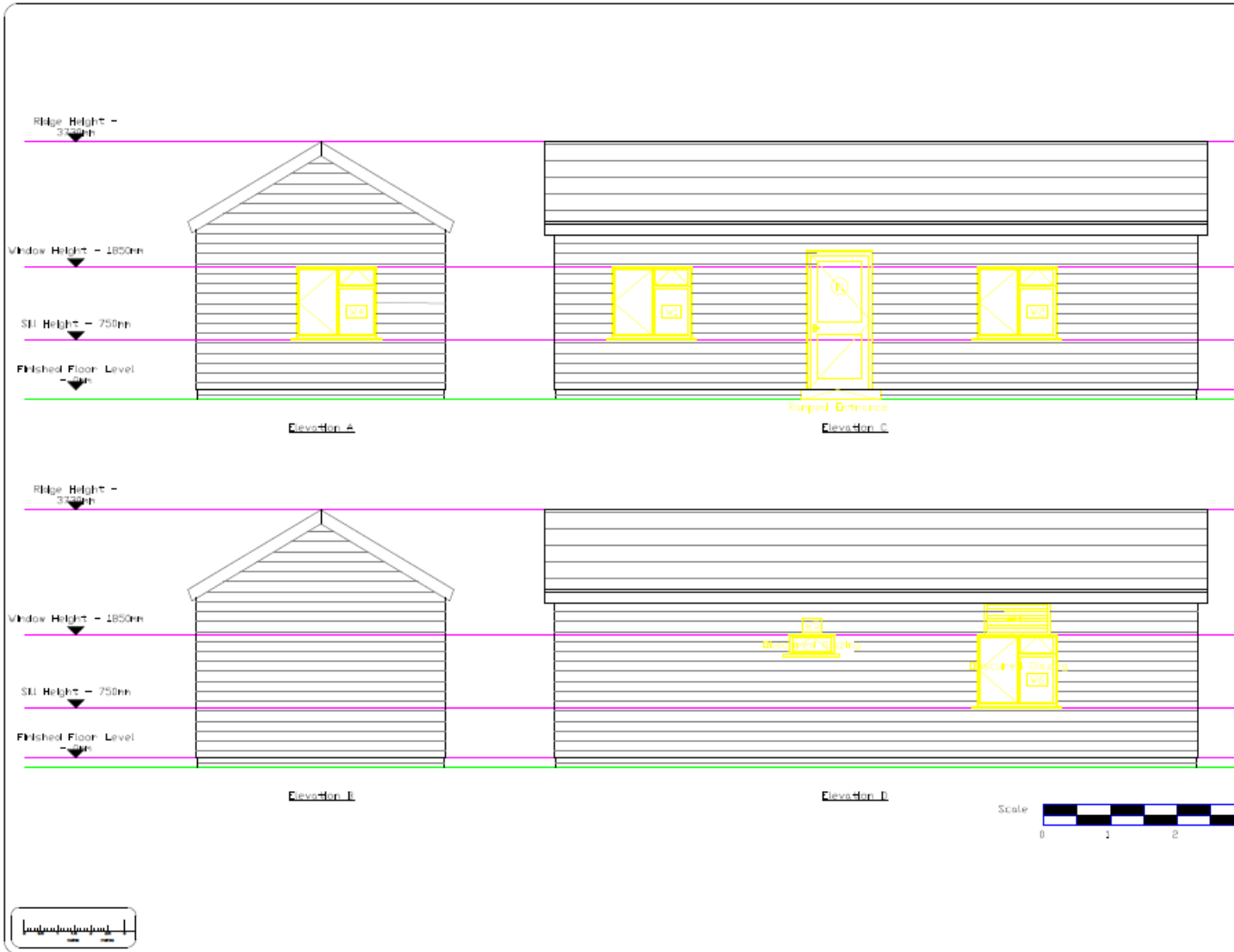
WHITE & LLOYD
 Architects & Planners
 1440003 2013106
 1. design@whiteandlloyd.com
 2. www.whiteandlloyd.com
 Second Floor Suite
 Orchard House
 19 Woodstock Road
 Bury, W13 8LS

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 - 07: These plans may be subject to "Planning and Building Regulation Approval" or any other statute in law before the commencement of building works.

Status: PRELIMINARY	
Revision notes: Rev: Date: Notes:	
-	
Drawn by: MM	Date: 20.12.2014
Scale @ A3: 1:50	BSL Ref: 103-07
Client: The Regard Partnership	
Project: My Homes - Orchard View	
Site Address: 1 Pennington Lane Friedbury Stroud Kent ME2 4HP	
Drawing No: 103-07-202	Rev: -
Drawing Title: Proposed Floor Plan	



Proposed Elevations



WHITE & LLOYD
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 1440003 2019 08
 14, Highgate Road, Great Baddow, Essex, SS16 5LQ
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Date: **PRELIMINARY**

Revision notes:
 Rev: Date: Note:

Drawn by: ML	Date: 20.12.2014
Scale @ A3: 1:50	BSL Ref: 103-07

Client:
The Regard Partnership

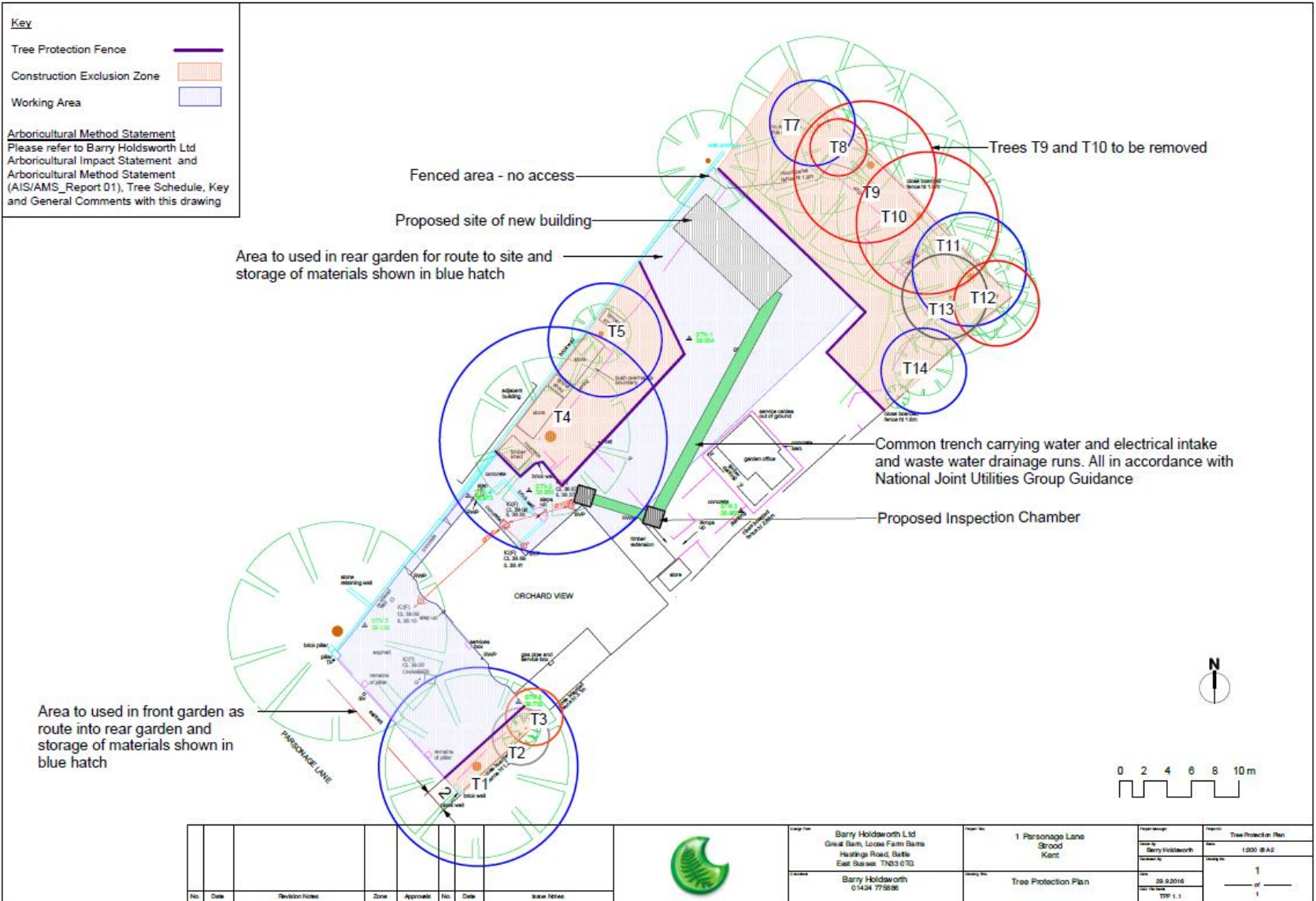
Project:
My Home - Orchard View

Site Address:
 1 Pennington Lane
 Finsbury
 Stroud
 Kent ME2 4HP

Drawing No: 103-07-401	Rev: -
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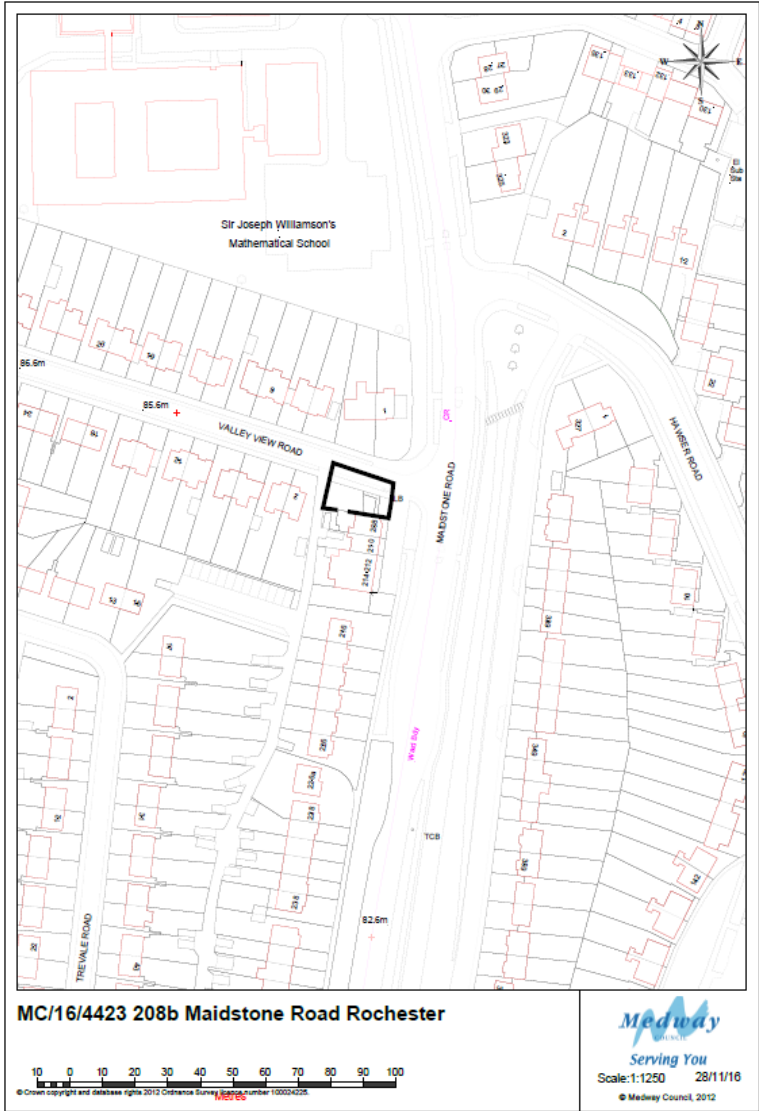
Drawing Title:
Proposed Elevations

Tree Protection Plan



MC/16/4423

208b Maidstone Road Rochester



Application site





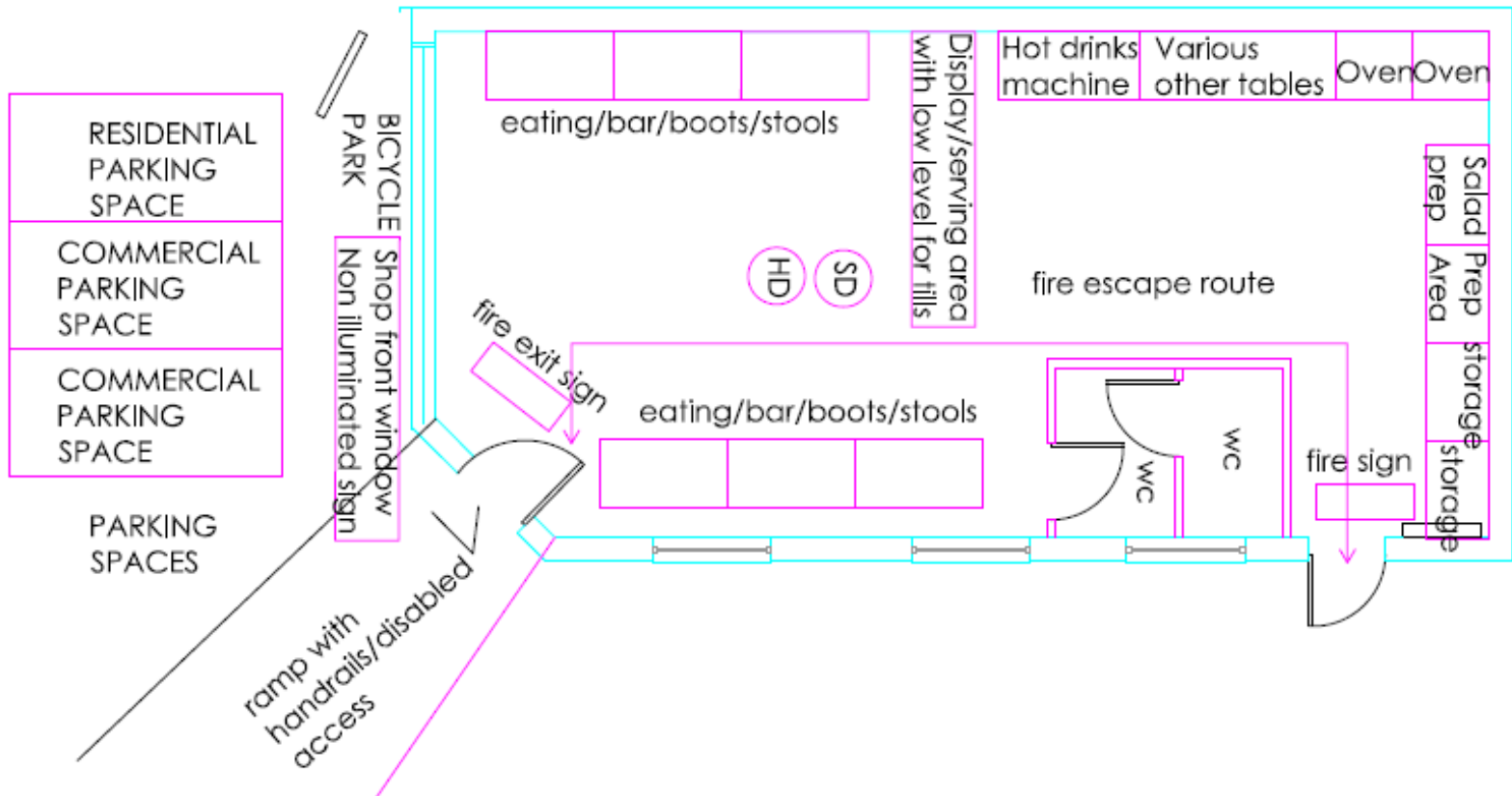
Application site in context



Previously approved plans



Proposed floor plan



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